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Committee
Coordinator

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26 March 2025

To: All Members of the Planning Sub Committee

Dear Member,

Planning Sub Committee - Thursday, 3rd April, 2025

I attach a copy of the following reports for the above-mentioned meeting which were not available at the time of collation of the agenda:

9. HGY/2024/1456 30-48 LAWRENCE ROAD, TOTTENHAM, LONDON, N15 4EG (PAGES 1 - 196)

Proposal: Alterations and extension to existing building (Class E) and erection of residential building (Class C3- Dwellinghouses) including ground floor commercial (Class E - Commercial, Business and Service), cycle and car parking, hard and soft landscaping, and all other associated works.

Yours sincerely

Kodi Sprott, Principal Committee Coordinator
Principal Committee Co-Ordinator

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NOTICE OF MEETING**PLANNING SUB COMMITTEE**

Monday, 3rd June, 2024, 7.00 pm - George Meehan House, 294 High Road, Wood Green, London, N22 8JZ (watch the live meeting [here](#), watch the recording [here](#))

Councillors: Lester Buxton, Sean O'Donovan, Barbara Blake (Chair), Reg Rice (Vice-Chair), Nicola Bartlett, John Bevan, Cathy Brennan, Scott Emery, Emine Ibrahim and Alexandra Worrell

Quorum: 3

1. FILMING AT MEETINGS

Please note this meeting may be filmed or recorded by the Council for live or subsequent broadcast via the Council's internet site or by anyone attending the meeting using any communication method. Although we ask members of the public recording, filming or reporting on the meeting not to include the public seating areas, members of the public attending the meeting should be aware that we cannot guarantee that they will not be filmed or recorded by others attending the meeting. Members of the public participating in the meeting (e.g. making deputations, asking questions, making oral protests) should be aware that they are likely to be filmed, recorded or reported on. By entering the meeting room and using the public seating area, you are consenting to being filmed and to the possible use of those images and sound recordings.

The Chair of the meeting has the discretion to terminate or suspend filming or recording, if in his or her opinion continuation of the filming, recording or reporting would disrupt or prejudice the proceedings, infringe the rights of any individual, or may lead to the breach of a legal obligation by the Council.

2. PLANNING PROTOCOL

The Planning Committee abides by the Council's Planning Protocol 2017. A factsheet covering some of the key points within the protocol as well as some of the context for Haringey's planning process is provided alongside the agenda pack available to the public at each meeting as well as on the Haringey Planning Committee webpage.

The planning system manages the use and development of land and buildings. The overall aim of the system is to ensure a balance between enabling development to take place and conserving and protecting the environment and local amenities. Planning can also help tackle climate change and overall seeks to create better public places for people to live, work and play. It is important that the public understand that the committee

makes planning decisions in this context. These decisions are rarely simple and often involve balancing competing priorities. Councillors and officers have a duty to ensure that the public are consulted, involved and where possible, understand the decisions being made.

Neither the number of objectors or supporters nor the extent of their opposition or support are of themselves material planning considerations.

The Planning Committee is held as a meeting in public and not a public meeting. The right to speak from the floor is agreed beforehand in consultation with officers and the Chair. Any interruptions from the public may mean that the Chamber needs to be cleared.

3. APOLOGIES

To receive any apologies for absence.

4. URGENT BUSINESS

The Chair will consider the admission of any late items of urgent business. Late items will be considered under the agenda item where they appear. New items will be dealt with at item 12 below.

5. DECLARATIONS OF INTEREST

A member with a disclosable pecuniary interest or a prejudicial interest in a matter who attends a meeting of the authority at which the matter is considered:

- (i) must disclose the interest at the start of the meeting or when the interest becomes apparent, and
- (ii) may not participate in any discussion or vote on the matter and must withdraw from the meeting room.

A member who discloses at a meeting a disclosable pecuniary interest which is not registered in the Register of Members' Interests or the subject of a pending notification must notify the Monitoring Officer of the interest within 28 days of the disclosure.

Disclosable pecuniary interests, personal interests and prejudicial interests are defined at Paragraphs 5-7 and Appendix A of the Members' Code of Conduct

6. MINUTES (PAGES 1 - 12)

To confirm and sign the minutes of the Planning Sub Committee held on 7th March as a correct record.

7. PLANNING APPLICATIONS

In accordance with the Sub Committee's protocol for hearing representations; when the recommendation is to grant planning permission, two objectors may be given up to 6 minutes (divided between them) to make representations. Where the recommendation is to refuse planning permission, the applicant and supporters will be allowed to address the Committee. For items considered previously by the Committee and deferred, where the recommendation is to grant permission, one objector may be given up to 3 minutes to make representations.

8. HGY/2023/3250 ST ANNS GENERAL HOSPITAL, ST ANNS ROAD, TOTTENHAM, LONDON, N15 3TH (PAGES 13 - 82)

Proposal: Application for reserved matters seeking approval of appearance, landscaping, layout and scale in respect of Phases 1b and 2 of the site pursuant to Condition 61 of Planning Permission Reference HGY/2022/1833 dated 10 July 2023 for "outline planning permission (with all matters reserved except for access) for Phases 1B, 2 and 3, for: (a) the erection of new buildings for residential development (Use Class C3) and a flexible range of non-residential uses within Use Class E, F1/F2; (b) provision of associated pedestrian and cycle accesses; (c) landscaping including enhancements to the St Ann's Hospital Wood and Tottenham Railsides Site of Importance for Nature Conservation (SINC); and, (d) car and cycle parking spaces and servicing spaces". Details are provided to partially satisfy Conditions 63, 65, 66, 67, 68, 69, 70, 71, 72 and 73 for Phases 1b and 2 of the site of Outline Planning Permission Reference HGY/2022/1833.

9. PRE-APPLICATION BRIEFINGS

The following items are pre-application presentations to the Planning Sub-Committee and discussion of proposals.

Notwithstanding that this is a formal meeting of the Sub-Committee, no decision will be taken on the following items and any subsequent applications will be the subject of a report to a future meeting of the Sub-Committee in accordance with standard procedures.

The provisions of the Localism Act 2011 specifically provide that a Councillor should not be regarded as having a closed mind simply because they previously did or said something that, directly or indirectly, indicated what view they might take in relation to any particular matter. Pre-application briefings provide the opportunity for Members to raise queries and identify any concerns about proposals.

The Members' Code of Conduct and the Planning Protocol 2016 continue to apply for pre-application meeting proposals even though Members will not be exercising the statutory function of determining an application. Members should nevertheless ensure that they are not seen to pre-determine or close their mind to any such proposal otherwise they will be precluded from participating in determining the application or leave any decision in which they have subsequently participated open to challenge.

10. PPA/2021/0030 SIR FREDERICK MESSER ESTATE (PAGES 83 - 104)

Proposal: Erection of 66 new homes within two, six storey blocks providing 100% social rent homes, 10% wheelchair accessible homes, cycle parking, hard and soft landscaping, and all other associated works.

11. UPDATE ON MAJOR PROPOSALS (PAGES 105 - 120)

To advise of major proposals in the pipeline including those awaiting the issue of the decision notice following a committee resolution and subsequent signature of the section 106 agreement; applications submitted and awaiting determination; and proposals being discussed at the pre-application stage.

12. APPLICATIONS DETERMINED UNDER DELEGATED POWERS (PAGES 121 - 192)

To advise the Planning Committee of decisions on planning applications taken under delegated powers for the period 26/02/2024 – 17/05/2024.

13. NEW ITEMS OF URGENT BUSINESS

14. DATE OF NEXT MEETING

To note the date of the next meeting as 20th June.

Kodi Sprott, Principal Committee Coordinator

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Fiona Alderman

Head of Legal & Governance (Monitoring Officer)

George Meehan House, 294 High Road, Wood Green, N22 8JZ

Thursday, 23 May 2024

7:05 – 9:01

PRESENT:

Councillors: Barbara Blake (Chair), Reg Rice (Vice-Chair), Cathy Brennan, Sue Jameson, John Bevan, Sean O'Donovan, Nicola Bartlett and Lotte Collett

1. FILMING AT MEETINGS.

The Chair referred to the notice of filming at meetings and this information was noted.

2. PLANNING PROTOCOL

The Chair referred to the planning protocol and this information was noted.

3. APOLOGIES

Apologies were received from Councillor Worrell, Councillor Dunstall, Councillor Brennan and Councillor Ibrahim. Councillor O'Donovan will be Councillor Brennan's substitute. This was in accordance with committee standing orders 53 to 56. Apologies for lateness were received from Councillor Bartlett.

4. URGENT BUSINESS

There were no items of urgent business.

5. DECLARATIONS OF INTEREST

There were no declarations of interest.

6. MINUTES

RESOLVED

To approve the minutes of the Planning Sub Committee held on the 5th February as a correct record.

7. PLANNING APPLICATIONS

The Chair referred to the note on planning applications and this information was noted.

8. HGY/2023/0728 341A SEVEN SISTERS ROAD, TOTTENHAM, LONDON, N15 6RD (PAGES 7 - 328)

Phillip Elliot, Principal Planning Officer introduced the item. This report was for the construction of two new buildings to provide new warehouse living accommodation (Sui Generis (warehouse living)), ground floor café/ workspace (Use Class E) and associated waste collection and cycle parking. Erection of 10 stacked shipping containers (two storeys) to provide workspace/ artist studios (Use Class E), toilet facilities and associated waste collection and cycle parking. Landscape and public realm enhancements including the widening of and works to an existing alleyway that connects Seven Sisters and Tewkesbury Road, works to Tewkesbury Road, the creation of rain gardens, greening, seating, signage and artworks and all other associated infrastructure works, including the removal of an existing and the provision of a new substation to service the new development.

The following was noted in response to questions from the committee:

7:05 – 9:01

- HMOs are their own use; sui generis meant a class of its own. Potentially, the development might need specific licencing down the line. The single bed space rooms would be 7.5 square metres and double rooms would be 11.5 square metres. This would vary due to the size and location of the building.
- Officers had set out the requirements of policy DM39. This asked the developer to masterplan and as a part of that, they had completed an analysis of the warehouse district, it also looked at HMO standards.
- There are no restrictions in place regarding children living in this space, however, this was more suited for people wanting a living and working space in one place.
- The management plan would need to outline how the applicant would market the development and how they would target people who worked in the creative sector. This should set out what they would be doing on a continual basis to maintain that in the lifetime of the development. As this was a new build development, the rent was at the upper end of the spectrum for the warehouse district. Residents would get some of the other public benefits through the scheme through the commercial spaces and public realm improvements.
- Rents have not been set yet, there would likely be some variance for different floor levels of the building. The viability assessment had been run on the basis that each room would be rented for £950, and that viability supports the rest of the development, infrastructure works, and the public realm works.
- The workspaces below ground are not necessarily for noisy works, however there would be capacity for this because as this area is not a living space. Generally, warehouse living by its nature could be noisy.
- This space would adopt a communal nature, residents would have to communicate with one another regarding space usage concerns.
- Residents in Cotton Mill Yard have access to this space(at the rear of the site). Some of the objections raised concerns that they would no longer have access to this as part of the proposal., The conditions Specifically deal with that in that they required details to be submitted regarding access.
- Daylight sunlight tests have been run and there was no significant effect on amenity, officers regarded the effect as being an acceptable impact.
- The way the daylight sunlight works is that in the BRE guidance there was a 27% figure. Often in urban areas like London, the alternative target 15% is used as it's a denser location, where the expectation levels of daylight were slightly lower. That has been applied in this instance because it was more comparable to the existing area.
- The requirement is that the terms of reference would be submitted and approved by the local planning authority. This would include how they would select people to join the liaison group.
- The demographic of people focused on for this development is people working as creatives. A masterplan exercise had occurred which ensued talking to people in the community. There was a condition in the report regarding extraction, this could be extended to workspaces. Smaller units would have one shared space and larger units would have double height spaces.

The following was noted in response to questions from the applicant:

- For each group of rooms there would be a large shared space, within this space there would be a kitchen area that would have a dining area, there would also be a shared workspace which would commensurate with the number of rooms that surround that space. There would be a shared workspace at the base of the building that was within the dedicated business space area.

- The Council was seeking to enforce against the warehouse district, what came out of that was a recognition that developers needed to improve standards in all buildings and create spaces that conformed to a given set of standards. That was where the HMO reference came in.
- There was 45 metres on the ground floor space and then another 25 metres in the space above, this equated to 70 metres overall; giving five metres of space per person.
- In terms of the management of the development, this would be light touch. The idea was to provide spaces where groups of people managed their own circumstances. As a landlord, the applicant would intervene if there was a dispute. People who tended to live within communal circumstances were accustomed to this. From experience, it was rare for disputes to arise. There would be day to day management and people on site, common spaces would also be managed.
- There had been substantial refurbishments of the buildings to bring them up to the standards that were now required and using HMO as a baseline. The applicant had tried to manage a balanced position, improve the buildings, expend money on the buildings but keep the rents at a level which were not an impediment to people living and working in the district. The occupational levels across the buildings and the constant waiting list suggested that people still wanted to live in these. People were routinely living in these spaces for 5-7 years. Part of the reason for new workspaces on Overbury Rd was to meet the demand from people who want to carry on living in the district but wanted to expand their business out of the common shared area and into a space of their own.
- In terms of managing the risk in the building, this was the first time that the applicant had proposed to build a new warehouse living building from scratch. Whilst doing this, the applicant ensured every relevant standard was met, in terms of the sustainability of the building, the performance of the building and the safety of the building. Compliance had been achieved in all these factors so there were not any present risks.
- Residents would pay council tax not business rates. In terms of commercial spaces, the applicant would provide commercial arrangements to have waste collected.
- This building's facade had been developed through extensive research of local materials and colour sampling. The key thing was that this building was a part of the warehouse district whilst addressing sustainability concerns and being a marker building as set out by the Council. A lot of work had been done alongside residents, they were vocal over concerns that this building looked like a generic development. The team researched into various materials, looking at everything from brick to metal cladding; ultimately the team set on a cementitious profile board, which reflected the rhythms within the warehouse. This was low carbon and a tested product. It was a sustainable and robust material; it was presented to the residents, and they felt that it fit within the DNA of the warehouse district.
- External amenity was a key consideration within the scheme. The double height space comprised a mix of work, living and dining spaces on the upper mezzanine. In front of that, the space spilled out onto a balcony which had a raised parapet to it.
- On Tewkesbury Rd, the applicant would put bicycle parking for all tenants and residents around the area.
- There would be a late-stage review, this would show if the applicant achieved a better result in terms of viability. If build costs reduced and or values go up, then there could be contribution towards affordable housing. Officer recommendation was that the contribution goes to affordable housing.

7:05 – 9:01

- In this case, the applicant would provide heating on a communal basis. So that would be an all-inclusive proposal for tenants.

The Chair asked Robbie McNaugher, Head of Development Management and Enforcement Planning to sum up the recommendations as set out in the report. The only change recommended was to condition four which controlled the extraction equipment; this was to broaden that to include all of the commercial spaces. The Chair moved that the recommendation be granted following a vote with 7 for, 0 against and 0 abstentions.

RESOLVED

1. That the Committee authorise the Head of Development Management or the Assistant Director of Planning, Building Standards & Sustainability **to GRANT** planning permission subject to the conditions and informatives set out below and the completion of an agreement satisfactory to the Head of Development Management or the Assistant Director of Planning, Building Standards & Sustainability securing the obligations set out in the Heads of Terms below.

2. That delegated authority be granted to the Head of Development Management or the Assistant Director of Planning, Building Standards & Sustainability to make any alterations, additions, or deletions to the recommended heads of terms and/or recommended conditions as set out in this report and to further delegate this power provided this authority shall be exercised in consultation with the Chair (or in their absence the Vice Chair) of the Planning Sub-Committee.

3. That the section 106 legal agreement referred to in resolution (2.1) above is to be completed no later than 28/06/2024 or within such extended time as the Head of Development Management or the Assistant Director Planning, Building Standards & Sustainability shall in their sole discretion allow; and

4. That, following completion of the agreement referred to in resolution (2.1) within the time period provided for in resolution (2.3) above, planning permission be granted in accordance with the Planning Application subject to the attachment of conditions.

Conditions (the full text of recommended conditions is contained in Appendix 1 of this report)

- 1) 3-year time limit
- 2) Approved Plans & Documents
- 3) Accessible Accommodation
- 4) Commercial Units - Ventilation/Extraction
- 5) Commercial Units - Café/restaurant Opening Hours
- 6) BREEAM Certificate
- 7) Below ground works impact mitigation measures
- 8) Commercial Units – Noise Attenuation
- 9) Noise Attenuation – Warehouse Living Accommodation
- 10) Fire Statement

7:05 – 9:01

- 11)Landscape Details
- 12)Biodiversity
- 13)External Materials and Details
- 14)Artwork Details
- 15)Living roofs
- 16)Energy Strategy
- 17)Overheating (Warehouse Living)
- 18)Overheating (Commercial areas)
- 19)Building User Guide
- 20)Metering Strategy
- 21)DEN Connection
- 22)Urban Greening Factor
- 23)Secured by Design
- 24)Circular Economy
- 25)Whole Life Carbon
- 26)Land Contamination
- 27)Unexpected Contamination
- 28)Cycle Parking details
- 29)Delivery and Servicing Plan
- 30)Warehouse Living Waste Management Plan
- 31)Commercial Waste Management Plan
- 32)Detailed Construction Logistics Plan (PRE-COMMENCEMENT)
- 33)Public Highway Condition (PRE-COMMENCEMENT)
- 34)Demolition/Construction Environmental Management Plans (PRECOMMENCEMENT)
- 35)Management and Control of Dust (PRE-COMMENCEMENT)
- 36)Non-Road Mobile Machinery 1
- 37)Non-Road Mobile Machinery 2
- 38)Piling Method Statement (PRE-PILING WORKS)
- 39)Construction Near Water Main (PRE-CONSTRUCTION within 5m of a water main)
- 40)Business and Community Liaison Construction Group (PRECOMMENCEMENT)
- 41)Telecommunications

7:05 – 9:01

- 42) Water Efficiency Condition
- 43) Noise from building services plant and vents
- 44) Anti-vibration mounts for building services plant / extraction equipment
- 45) London Underground Infrastructure Protection 1 (PRECOMMENCEMENT)
- 46) London Underground Infrastructure Protection 2
- 47) London Underground Infrastructure Protection 3
- 48) Landscape and Ecological Management Plan (LEMP)
- 49) Wind Mitigation – Terraces
- 50) Details of bed decks
- 51) Warehouse Living Management Plan
- 52) Public Right of Way (PROW) rerouting, design, and management details
- 53) Requirement to enter into a s278 agreement

Informatives

- 1) Working with the applicant
- 2) Community Infrastructure Levy
- 3) Hours of Construction Work
- 4) Party Wall Act
- 5) Numbering New Development
- 6) Asbestos Survey prior to demolition
- 7) Dust
- 8) Disposal of Commercial Waste
- 9) Piling Method Statement Contact Details
- 10) Minimum Water Pressure
- 11) Paid Garden Waste Collection Service
- 12) Sprinkler Installation
- 13) Designing out Crime Officer Services
- 14) Land Ownership
- 15) Site Preparation Works
- 16) s106 Agreement and s278 Agreement
- 17) Revised Fire Statement required with any revised submission
- 18) Building Control
- 19) Building Regulations – Soundproofing

7:05 – 9:01

20) Thames Water Groundwater Risk Management Permit

Section 106 Heads of Terms (HoTs):

1) Provision of workspace for residents & management plan Workspace to be provided within the below ground workshop spaces in Block A for the use of residents of the development in perpetuity from initial occupation. A management plan shall also be submitted to outline how the workspace will be allocated and managed to optimise usage and support residents that work in the creative industries. If spaces are not taken up by residents, then space could be used by other creatives.

2) Affordable workspace 10% of the commercial floorspace to be let out at an affordable rent. Obligations shall identify the location of this floorspace and secure it as affordable in perpetuity in line with the Planning Obligations SPD.

3) Viability Review Mechanism

- a. Early-Stage Review if not implemented within 2 years;
- b. Development Break review – review if construction is suspended for 2 years or more; and
- c. Late-Stage Review with a cap equivalent to 50% affordable housing.

4) Employment & Skills Plan

All relevant clauses stated in the Planning Obligations Supplementary Planning Document (SPD) 2018. In summary to include:

Construction Phase Skills and Training

- ☐ To include planning obligations relating to Notification of Vacancies, Local Labour, and Apprenticeships.
- ☐ A commitment to being part of the borough's Construction Programme for the construction phase.
- ☐ To include a support fee, and any in lieu financial contribution, payable upon agreement of a Local Training and Employment Plan.
- ☐ Work placement, and STEM and career education workshops.
- ☐ Monitoring – Submitting monthly reports and evidence.

End-user Phase Skills and Training

- ☐ The developer shall be required to work with the Council to maximise opportunities for local residents in the development and provide career education where practicable.

5) Travel Plans for Warehouse Living and Commercial uses and monitoring

Warehouse Living Travel Plan:

7:05 – 9:01

☐ Within six (6) months of first occupation of the proposed Warehouse Living a Travel Plan for the use must be submitted to and approved in writing by the Local Planning Authority detailing means of conveying information for new occupiers and techniques for advising residents of sustainable travel options.

☐ The Travel Plan shall then be implemented in accordance with a timetable of implementation, monitoring, and review to be agreed in writing by the Local Planning Authority,

☐ The following measures to be included as part of the travel plan in order to maximise the use of sustainable modes of active transport.

1. The developer must appoint a travel plan co-ordinator, working in collaboration with the Estate Management Team, to monitor the travel plan initiatives annually for a minimum period of 5 years.

2. Provision of welcome induction packs containing public transport and cycling/walking information to every new resident, along with a £200 voucher for active travel related equipment purchases.

3. Pay a sum of, £3,000 (three thousand pounds) per year for a period of five years £15,000 (fifteen thousand pounds) in total for the monitoring of this travel plan initiative.

4. Parking management plan which monitors the provision of disabled car parking spaces for the site and triggers any necessary provision on the local highways network.

Commercial Travel Plan:

☐ Within six (6) months of first occupation of the proposed commercial spaces a Travel Plan for the use must be submitted to and approved in writing by the Local Planning Authority.

☐ The Travel Plan shall then be implemented in accordance with a timetable of implementation, monitoring, and review to be agreed in writing by the Local Planning Authority,

☐ The following measures to be included as part of the travel plan in order to maximise the use of sustainable modes of active transport.

1. The developer must appoint a travel plan co-ordinator, working in collaboration with the Estate Management Team, to monitor the travel plan initiatives annually for a minimum period of 5 years.

2. Provision of commercial induction packs containing public transport and cycling/walking information, available bus/rail/tube services, showers, lockers, map and timetables to all new staff, travel pack to be approved by the Councils transportation planning team.

3. The developer will be required to provide, showers lockers and changing room facility for the commercial element of the development where practicable.

4. The developer is required to pay a sum of £2,000 (two thousand pounds) per year per travel plan for monitoring of the travel plan for a period of 5 years.

5. The first surveys should be completed 6 months post occupation or on 50% occupation whichever is sooner.

6) Car capping (£4,000 contribution)

7:05 – 9:01

No future occupiers (except those with a blue badge) will be entitled to apply for a resident or business parking permit under the terms of the relevant Traffic Management Order controlling on-street parking in the vicinity of the development. £4,000 for revising the associated Traffic Management Order.

7) Car Club

Use all reasonable endeavours to establish a car club facility in the form of an on-street car club bay in the vicinity of the application site for the occupants of the development. To include the provision of three years' free membership for all residents and £100 (one hundred pounds in credit) per year/per resident for the first 3 years.

8) Considerate Constructors Scheme

A commitment to sign up to the scheme for the entirety of construction works.

9) Ultrafast broadband connectivity

All rooms of accommodation must have access to high-quality digital connectivity (above 100MB/s) for occupants through ultrafast broadband connections.

10) Carbon Management & Sustainability

- ☐ Be Seen commitment to uploading energy data
- ☐ Energy Plan to recalculate the performance at commencement
- ☐ Sustainability review to confirm the performance prior to occupation
- ☐ DEN connection (and associated obligations) if this becomes available within the next 10 years

11) Carbon offsetting

Indicative carbon offset contribution (and associated obligations) of £20,805, plus a 10% management fee; an indicative carbon offset contribution to be recalculated at £2,850 per tCO2 at the Energy Plan stage with a 50% payment prior to implementation, and actual carbon offset contribution calculation at Sustainability Review stage following completion and payment for the remaining amount due prior to occupation.

12) Monitoring costs

Based on 5% of the value of the financial planning obligations included in the agreement (capped at £55,000), and £500 per non-financial planning obligation in the agreement.
Section 278 Highways Legal Agreement Heads of Terms

13) Public Realm works

The developer shall be required to enter into an agreement with the Highway Authority under Section 278 of the Highways Act to pay for any necessary highway works relating to the delivery of the footway and Tewksbury Yard/Road public realm part of the proposals.

14) Street works

The works include but are not limited to the removal of the crossover to the site to reinstate the footway and / or the creation of at least 3 on-street disabled car parking bays and their electrification.

15) Works to the TLRN on Seven Sisters Road

7:05 – 9:01

Planters and cycle parking to be agreed with TfL and secured via s278 agreement.

2.5 In the event that members choose to make a decision contrary to officers' recommendation members will need to state their reasons.

2.6 That, in the absence of the agreement referred to in resolution (2.1) above being completed within the time period provided for in resolution (2.3) above, the planning permission be refused for the following reasons:

1. In the absence of a legal agreement securing 1) workspace for residents & an associated management plan and 2) viability review mechanisms - the proposals would fail to provide sufficient workspaces for Warehouse Living in accordance with Development Management DPD policy DM39, and comply with Policy H5 of the London Plan and the Mayor's Affordable Housing and

Viability Supplementary Planning Guidance (SPG).

2. In the absence of a legal agreement securing Affordable workspace, the scheme would fail to accord with Development Management DPD policy DM39.

3. In the absence of legal agreement securing 1) Travel Plans and financial contributions toward travel plan monitoring, 2) Traffic Management Order (TMO) amendments to change car parking control measures - the proposals would have an unacceptable impact on the safe operation of the highway network and give rise to overspill parking impacts and unsustainable modes of travel. As such, the proposal would be contrary to London Plan Policies T5, T1, T2, T3, T4 and T6. Spatial Policy SP7, and DM DPD Policy DM31.

4. In the absence of an Employment and Skills Plan the proposals would fail to ensure that Haringey residents' benefit from growth and regeneration. As such, the proposal would be contrary to London Plan Policy E11 and DM DPD Policy DM40.

5. In the absence of a legal agreement securing the implementation of an energy strategy, including the prioritisation of a connection to a DEN, and carbon offset payments - the proposals would fail to mitigate the impacts of climate change. As such, the proposal would be unsustainable and contrary to London Plan Policy SI 2 and Strategic Policy SP4, and DM DPD Policies DM 21, DM22 and SA48.

6. In the absence of a legal agreement securing the developer's participation in the Considerate Constructor Scheme, the proposals would fail to mitigate the impacts of demolition and construction and impinge the amenity of adjoining occupiers. As such the proposal would be contrary to London Plan Policies D14, Policy SP11 and Policy DM1.

2.7 In the event that the Planning Application is refused for the reasons set out in resolution (2.6) above, the Head of Development Management or the Assistant Director of Planning, Building Standards & Sustainability (in consultation with the Chair of Planning sub-committee) is hereby authorised to approve any further application for planning permission which duplicates the Planning Application provided that:

(i) There has not been any material change in circumstances in the relevant planning considerations, and

(ii) The further application for planning permission is submitted to and approved by the Head of Development Management or the Assistant Director of Planning, Building Standards & Sustainability within a period of not more than 12 months from the date of the said refusal, and

7:05 – 9:01

(iii) The relevant parties shall have previously entered into the agreements contemplated in resolution (2.1) above to secure the obligations specified therein.

9. PRE-APPLICATION BRIEFINGS

The following item is a pre-application presentation to the Planning Sub-Committee and discussion of proposals.

10. PPA/2024/0005 30-48 LAWRENCE ROAD, LONDON, N15 4EG (PAGES 329 - 350)

Gareth Prosser introduced the report for partial demolition and refurbishment of existing light industrial building (Class E) and erection of residential building (Class C3), including ground floor workspace (Class E), cycle parking, hard and soft landscaping, and all other associated works.

The following was noted in response to questions from the committee:

- In terms of the shared ownership levels, there had been discussions between consultants and the Council's housing department. The team understood where their priorities were and were aware of the guidance in terms of affordable housing. There was an ongoing viability review process with the Council as independent assessors. Currently, there was a range between 14 to 19% of affordable housing, this would be up to 9 units in shared ownership.
- Following the Chair Review QRP there had been some layout changes. One bedrooms were single aspects and 2/3 bedrooms would be dual aspect. Materials had been discussed recently on where colours could be varied, the applicant was aware of consistency across the street.
- There had been discussions around safety, residential pedestrians and pedestrians would have access to the commercial unit. The second residential lobby service yard would not be used by residential pedestrians.

11. UPDATE ON MAJOR PROPOSALS (PAGES 351 - 366)

To advise of major proposals in the pipeline including those awaiting the issue of the decision notice following a committee resolution and subsequent signature of the section 106 agreement; applications submitted and awaiting determination; and proposals being discussed at the pre-application stage.

- TFL had run into funding issues regarding the Tottenham Hale underground station footbridge proposal.
- Regarding Highgate School, officers seemed to have a clearer programme of when things would move forward on that. A further update would be provided in due course.

12. APPLICATIONS DETERMINED UNDER DELEGATED POWERS (PAGES 367 - 394)

7:05 – 9:01

To advise the Planning Committee of decisions on planning applications taken under delegated powers for the period 22.01.2024 – 23.02.2024.

13. NEW ITEMS OF URGENT BUSINESS

There were no new items of urgent business.

14. DATES OF FUTURE MEETINGS.

The dates of future meetings were to be confirmed.

Planning Sub-Committee 03 JUNE 2024**REPORT FOR CONSIDERATION AT PLANNING SUB-COMMITTEE****1. APPLICATION DETAILS****Reference No:** HGY/2023/3250**Ward:** Hermitage and Gardens**Address:** St Anns General Hospital, St Anns Road, Tottenham, London, N15 3TH.

Proposal: Application for reserved matters seeking approval of appearance, landscaping, layout and scale in respect of Phases 1b and 2 of the site pursuant to Condition 61 of Planning Permission Reference HGY/2022/1833 dated 10 July 2023 for "outline planning permission (with all matters reserved except for access) for Phases 1B, 2 and 3, for: (a) the erection of new buildings for residential development (Use Class C3) and a flexible range of non-residential uses within Use Class E, F1/F2; (b) provision of associated pedestrian and cycle accesses; (c) landscaping including enhancements to the St Ann's Hospital Wood and Tottenham Railsides Site of Importance for Nature Conservation (SINC); and, (d) car and cycle parking spaces and servicing spaces". Details are provided to partially satisfy Conditions 63, 65, 66, 67, 68, 69, 70, 71, 72 and 73 for Phases 1b and 2 of the site of Outline Planning Permission Reference HGY/2022/1833.

Applicant: Hill Residential, Catalyst Housing Limited and Catalyst by Design Limited

Ownership: Private/Public

Officer Contact: John Kaimakamis

Date received: 05/12/2023

1.1 The application is being reported to the Planning Sub-Committee for determination as it is a major planning application recommended for approval.

1.2 SUMMARY OF KEY REASONS FOR RECOMMENDATION

- The proposed reserved matters of appearance, landscaping, layout and scale of the site would accord with a series of key documents, parameter plans and Design Code approved through the outline planning permission.
- The proposal provides a high quality design that would respect the surrounding heritage and provide a sustainable development that minimises carbon emissions and promote sustainable travel. The proposed landscaping will enhance biodiversity and provide high quality amenities for residents. The housing mix and affordable provision are in line with the outline permission for the site.
- Information submitted for the approval of details regarding Conditions 63 (Reserved Matters Compliance Statement), 65 (Drawing References), 66 (Cycle Provision), 67 (Accessible Housing), 68 (Fire Statement), 69 (Ecological Impact Assessment), 70 (Circular Economy Statement), 71 (Surface Water Drainage Scheme), 72 (Boundary Walls) and 73 (Climate

Change Adaptation) for Phases 1b and 2 would also accord with the matters requested under the outline planning permission.

- The reserved matters submission does not result in any significant additional impact, compared to the outline approval nor does the submission raise any other significant issues.

2. RECOMMENDATION

- 2.1 That the Committee resolve to GRANT CONSENT for the reserved matters application and approval of details in relation to Conditions 63 (Reserved Matters Compliance Statement), 65 (Drawing References), 66 (Cycle Provision), 67 (Accessible Housing), 68 (Fire Statement), 69 (Ecological Impact Assessment), 70 (Circular Economy Statement), 71 (Surface Water Drainage Scheme), 72 (Boundary Walls) and Condition 73 (Climate Change Adaptation) is determined under delegation powers once the outstanding issues are resolved.
- 2.2 That the Assistant Director of Planning, Building Standards & Sustainability or the Head of Development Management is authorised to issue the reserved matters consent and impose conditions [and informatives] to secure the following matters:

Conditions

1. Approval of Materials (Samples)

3. PROPOSED DEVELOPMENT AND SITE LOCATION DETAILS

Proposed Development

- 3.1 This application seeks the approval of reserved matters relating to layout, scale, appearance and landscaping for Phases 1b and 2 of the St Ann's New Neighbourhood development. The final reserved matter, access, was not reserved and formed part of the detailed component of the hybrid submission.

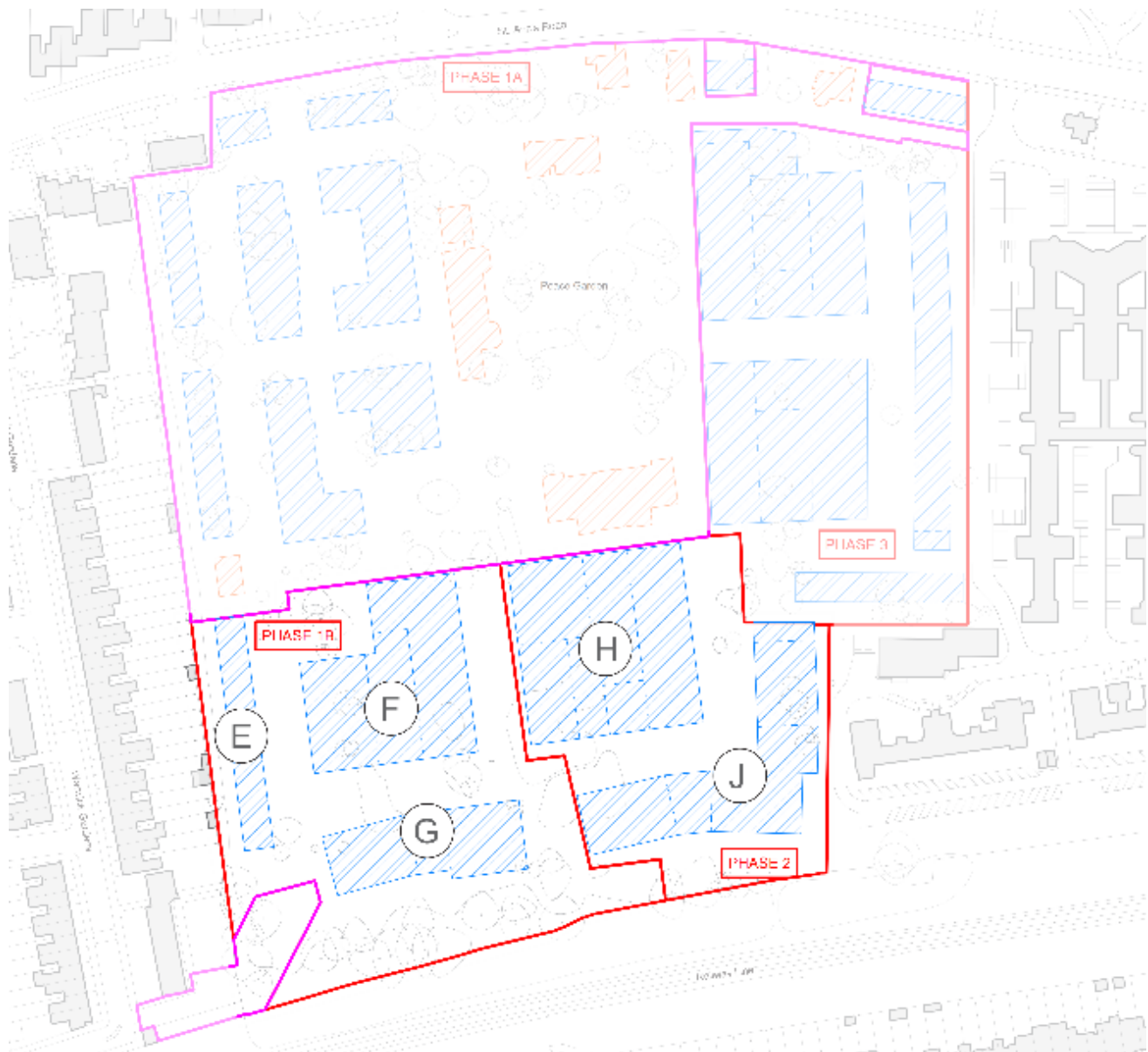


Image 1 Phasing Plan

- 3.2 Phases 1b and 2 will consist of 464 homes with approximately 73% affordable homes across a mix of tenures alongside 99 sqm (GIA) of non-residential floorspace, comprising a mix of Class E, F1 and F2 uses in line with the hybrid consent - reference HGY/2022/1833..
- 3.3 The proposed buildings within Phases 1b and 2 follow the pattern of development consented across Plots E to J. The plots are set out below:

- Plot E comprises three-storey terraced housing adjacent to Warwick Gardens.
- Plot F comprises two courtyard buildings of 6 storeys.
- Plot G comprises two villa buildings of 6 storeys and 9 storeys.
- Plot H comprises another courtyard building of 6 – 9 storeys and 5 – 7 storeys.
- Plot J comprises three villa buildings of 9, 8 and 7 storeys.

- 3.4 Consent is also sought for the partial approval of Conditions 63 (Reserved Matters Compliance Statement), 65 (Drawing References), 66 (Cycle Provision), 67 (Accessible Housing), 68 (Fire Statement), 69 (Ecological Impact Assessment), 70 (Circular Economy Statement), 71 (Surface Water Drainage Scheme), 72 (Boundary Walls) and 73 (Climate Change Adaptation) for Phases 1b and 2 of the site of Outline Planning Permission Reference HGY/2022/1833, as the wording of each of these conditions requires submission alongside a reserved matters application.

Site and Surroundings

Site Description

- 3.5 The application site is a 7.2ha plot of land that forms part of the existing St Ann's Hospital, which is a Victorian-era former fever hospital located on the southern side of St Ann's Road. The majority of the buildings on site are now vacant. Existing building heights across the site range from 2-3 storeys. Construction is underway on Phase 1a of the Hybrid consent consisting of 239 homes in a range of typologies and the restoration of several of the heritage buildings on the site.
- 3.6 Vehicular and pedestrian access to the site is from St Ann's Road, which is located to the north. The site is 1.5 km from Seven Sisters Station, 1.9 km from South Tottenham Station, 1.3 km from Harringay Green Lanes Station and 1.7 km from Harringay Station. There are bus stops close to the site providing services to transport nodes throughout London.
- 3.7 The northern part of the site is located within the St Ann's Conservation Area. The Conservation Area extends along the northern strip of the site parallel to St Ann's Road. There are no statutory listed buildings at the site but it includes Mayfield House, which is a locally listed building.
- 3.8 The site has a relatively flat topography with a gentle fall in land levels from west to east and north to south. It includes a mix of natural landscaped elements, including tree planting and two Site of Importance for Nature Conservation (SINC) areas close to its southern boundary. There is also a woodland Tree Preservation Order (TPO) and an Ecological Corridor by this site boundary.
- 3.9 The site is designated as being within an Area of Change by the Local Plan. The site is within Flood Zone 1 and is therefore at low risk of flooding. It is also within a Critical Drainage Area and a Groundwater Source Protection Zone.

- 3.10 The application site forms a large part of Site Allocation SA28 of the Site Allocation DPD 2017 which has been identified for new residential development, town centre uses and other uses. The detailed requirements of the site allocation are set out in the 'Site Allocation' section below.

Surrounding area

- 3.11 The site is bounded to the south by the London Overground railway line and the rear gardens of properties in Warwick Gardens to the west. To the east are the retained St Ann's Hospital medical facilities which are to remain in situ. Further to the east is Hermitage Road. Chestnuts Park is located opposite the site to the north.
- 3.12 The remainder of the local area is predominantly residential in character with buildings of varying styles and age. There are further heritage assets located 300 metres to the east of the application site, along St Ann's Road, including the Grade II* listed St Ann's Church, Grade II listed St Ann's Church school and Grade II listed 1-5 Avenue Road.

Relevant Planning and Enforcement history

- 3.13 The most recent planning history in relation to the site is as follows.
- 3.14 Hybrid Planning Application was granted consent on 10 July 2023 for the following:
- (1) Detailed planning permission for Phase 1A, for: (a) the change of use, conversion and alteration of seven existing hospital buildings for a flexible range of non-residential uses within Use Class E, F1/F2; (b) the demolition of other existing buildings (in accordance with the demolition plan); (c) the erection of new buildings for residential uses (Use Class C3); (d) alterations to the existing access roads and site boundaries to enable the provision of new vehicular, pedestrian and cycle accesses; (e) landscaping including enlargement of the Peace Garden; and, (f) associated car and cycle parking spaces and servicing spaces;
 - (2) The demolition of existing buildings and structures in Phases 1B, 2 and 3 (in accordance with the demolition plan); and
 - (3) Outline planning permission (with all matters reserved except for access) for Phases 1B, 2 and 3, for: (a) the erection of new buildings for residential development (Use Class C3) and a flexible range of non-residential uses within Use Class E, F1/F2; (b) provision of associated pedestrian and cycle accesses; (c) landscaping including enhancements to the St Ann's Hospital Wood and Tottenham Railsides Site of Importance for Nature Conservation (SINC); and, (d) car and cycle parking spaces and servicing spaces.

4. CONSULTATION RESPONSE

Quality Review Panel

- 4.1 The reserved matters at pre-application stage were presented to Haringey's Quality Review Panel. The Panel's written responses are attached in Appendix 3.

Public Engagement

- 4.2 The applicant has established a Resident and Business Liaison Group and is undertaking regular engagement through this group.

Planning Application Consultation

- 4.3 The following were consulted regarding the application:

Internal

- 4.4 LBH Design: Supports the design of the development and the quality of the design code.
- 4.5 LBH Conservation: No objections
- 4.6 LBH Housing: The development would provide a policy-compliant percentage of affordable housing including older adult homes. As such, there are no objections to this proposal.
- 4.7 LBH Transportation: Further details requested.
- 4.8 LBH Carbon Management: Request further details on Decentralised Energy Network (DEN) and Overheating.
- 4.9 LBH Nature Conservation: No objections
- 4.10 LBH Arboricultural Officer: No objections.
- 4.11 LBH Building Control: No comments received.
- 4.12 LBH Flood and Water Management: Further details requested.
- 4.13 LBH Waste Management: No comments received.
- 4.14 LBH Pollution: No objections.
- 4.15 LBH Communities and Housing Support: Supportive of the proposed sheltered accommodation provision.

External

- 4.16 Transport for London: No comments received
- 4.17 Network Rail: No objections.
- 4.18 Health and Safety Executive: No objections.

- 4.19 Environment Agency: No objections.
- 4.20 Natural England: No objections.
- 4.21 Thames Water: No objections, subject to informatives.
- 4.22 Historic England: No relevant comments made. The application should instead be assessed by the Council's own specialist advisers.
- 4.23 Greater London Archaeological Advisory Service: No objections, subject to a condition.
- 4.24 Metropolitan Police Designing Out Crime Officer: No objections.

5. LOCAL REPRESENTATIONS

- 5.1 The application has been publicised by way of a press notice, several site notices which were displayed around the site and in the vicinity of the site and over one thousand individual letters sent to surrounding local properties. The number of representations received from neighbours, local groups, etc in response to notification and publicity of the application were as follows:

No of individual responses: 2
Objecting/Commenting: 2

- 5.2 The following local groups/societies made representations

- 5.3 Garden Residents Association

- 5.4 The following Councillor(s) made representations:

- 5.5 None

- 5.6 The following issues were raised in representations that are material to the determination of the application:

- Loss of privacy. A resident has stated that they live in a block of flats closest to the proposed development and that the first town house in the row that is due to be built is close with a view into their bathroom window.

(Officer Comment: the siting and height of the townhouses were considered as acceptable during the consented hybrid permission given the distance between the proposed and neighbouring buildings)

- Chestnut Primary School nor Warwick Garden Residents were not notified of the application.

(Officer Comment: the school was notified of the application and notification letters sent to properties on Warwick Garden as well as notification via the Garden Residents Association)

- **Request that a new EIA is undertaken, including the impact of dust and sound on the children at Chestnuts Primary School**

(Officer Comment: these issues were taken into account as part of the EIA submitted with the hybrid planning consent and which contained recommendations in the form of conditions imposed on the planning permission.)

- **Request that a new EIA is undertaken, including the impact of dust and sound on the children at Chestnuts Primary School**

(Officer Comment: these issues were taken into account as part of the EIA submitted with the hybrid planning consent and which contained recommendations in the form of conditions imposed on the planning permission.)

- Five (5) windows Warwick Gardens would experience a noticeable reduction in daylight VSC levels, in breach of BRE guidelines

(Officer Comment: these BRE guidelines provide recommended levels whereby any transgressions must be considered in the overall context of the proposed development. In this instance, five windows is a very small amount in the overall context of the development and the proposed new buildings would be within the scale and siting of the parameter plans approved at hybrid stage.)

- Request that a specific planning condition is introduced to require both the external entrance to the South-West link (as it is known) and the Community Garden at Doncaster Gardens to be relandscaped (in consultation with the community) so that these key sites tie into the visual identity of the new St Ann's development.

(Officer Comment: the details regarding the south-west link were secured in the S106 legal agreement as part of the hybrid consent, and these areas do not fall within the red line boundary of the reserved matters application for Phase 1B/2.)

- Request that a planning condition is put in place to require the St Ann's Development, the SINC specifically¹, the 'Town Square' at the South-West corner of the site specifically, and the "South-West corridor" to achieve "Secure by design" Gold standard.

(Officer Comment: a condition regarding Secure by Design has been secured on the hybrid planning consent.)

- Request a new planning condition requiring the widening of the proposed access between the Peace Garden and Chestnuts Park.

(Officer Comment: this location falls outside of the red line boundary for Phases 1B/2 and details of these matters have been secured via the S106 and S278 legal agreements.)

6. MATERIAL PLANNING CONSIDERATIONS

6.1 The main planning issues raised by the application that the committee must consider are:

- Principle of Development
- Consideration of Reserved Matters
 - Appearance;
 - Landscaping;
 - Layout; and Scale,
- Conservation Impacts
- Housing Mix
- Conditions
- Planning Obligations and Financial Considerations
- Equalities
- Conclusion

6.2 Principle of Development

6.2.1 The principle of development has been established under hybrid (part outline/part full) planning permission Ref: HGY/2023/3250.

6.2.2 The proposed development is in line with the approved phasing plan and the proposal does not raise any concerns regarding the principle of the development.

Consideration of Reserved Matters

6.2.3 A series of parameter plans, a Development Specification and a Design Code are secured under Conditions 61 and 64 of the outline planning permission and future reserved matters applications are required to be in compliance with these. The parameter plans control; land use, scale, access and movements, landscape and amenity, whilst the Design Code sets out 'must and should' codes relating to the above matters.

Condition 1 of the outline planning permission states the following:

"No Phase within the Development hereby approved in the Outline Component shall be commenced unless and until details of the following:

- a) appearance*
- b) landscaping*
- c) layout; and*
- d) scale*

(hereinafter referred to as the "reserved matters") in relation to that part of the Development have been submitted to and approved in writing by the Local Planning Authority. The "Outline Component" can be defined as "the Phases of the development to be shown on the construction phasing plan approved pursuant to Condition 3 in respect of which this decision notice grants outline planning permissions subject to the approval of the reserved matters detailed in Condition 61.

Reason: In order to comply with the Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended) which requires the submission to and approval by, the Local Planning Authority of reserved matters."

- 6.2.4 The access was approved under the outline part of the hybrid permission site access points from the north and, for pedestrians and cyclists, to the south-west were approved. These are not proposed to be altered as part of the reserved matters submission.
- 6.2.5 Therefore, the following matters reserved under the outline consent will be considered in turn:
- Appearance, Layout and Scale; and
 - Landscaping.

6.3 Appearance, Layout and Scale

Policy Context

National Policy

- 6.3.1 Chapter 12 of the National Planning Policy Framework (NPPF) 2021 states that that good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.
- 6.3.2 It states that, amongst other things, planning decisions should ensure that developments function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development, and should be visually attractive due to good architecture, layouts, and appropriate and effective landscaping.

Regional Policy – London Plan

- 6.3.3 The London Plan 2021 Policy D3 emphasises the importance of high-quality design and seeks to optimise site capacity through a design-led approach. Policy D4 of the London Plan notes the importance of scrutiny of good design by borough planning, urban design, and conservation officers as appropriate. It emphasises the use of the design review process to assess and inform design options early in the planning process (as has taken place here).
- 6.3.4 Policy D6 concerns housing quality and notes the need for greater scrutiny of the physical internal and external building spaces and surroundings as the density of schemes increases due the increased pressures that arise. It also requires development capacity of sites to be optimised through a design-led process.

Local Policy

- 6.3.5 Policy SP11 of the Haringey Local Plan requires that all new development should enhance and enrich Haringey's built environment and create places

and buildings that are high quality, attractive, sustainable, safe and easy to use.

- 6.3.6 Policy DM1 of the DM DPD requires development proposals to meet a range of criteria having regard to several considerations including building heights; forms, the scale and massing prevailing around the site; the urban grain; and a sense of enclosure. It requires all new development to achieve a high standard of design and contribute to the distinctive character and amenity of the local area.
- 6.3.7 Policy DM6 of the DM DPD expects all development proposals for taller buildings (i.e. those which are greater in height than their surroundings and are less than ten storeys in height) to respond positively to local context and achieve a high standard of design in accordance with Policy DM1.

Outline planning consent requirements

- 6.3.8 The approved Design Code provides detailed requirements on the expected architectural character and appearance of the reserved matters submission, as well as further requirements on layouts. Whilst the parameter plans do not strictly relate to the appearance of the development, they do provide control to land use, scale, access and movements, landscape and amenity, including setting out maximum building heights within various parts of Phase 1B/2.
- 6.3.9 The Design Code is an Approved Document that is crucial to ensuring that future phases will be built out to at least as good quality as the initial phases for which detailed planning permission was granted. In general, the Design Officer considers the Design Code (DC) to be a very high-quality document that is useful in supporting and protecting high quality design and a coherent design across the development, tying the later phases, only previously applied for in outline, to the earlier phases approved previously in detail.
- 6.3.10 The document is structured with Site Wide Codes, Landscape Codes and Architectural Codes. The design officer considers that the general principles within the Site Wide codes are excellent, placing some of the more detailed Conservation Area principles within the Site Wide codes, especially crucial views, giving them a welcome prominence. To avoid them being forgotten in the Architectural and Landscape Codes, there is cross referencing throughout. Codes are described as either must or should be carried out. Unlike many other Codes, may is never used, to give greater certainty, but reasonable flexibility in implementing the outline portion. Design officers consider the most crucial elements are definitive.

Assessment of proposals

Quality Review Panel (QRP) Comments:

- 6.3.11 The Quality Review Panel (QRP) has assessed the scheme in full at pre-application stage once (on 15 December 2021). The panel on the whole supported the scheme.

6.3.12 The full Quality Review Panel (QRP) report is attached in Appendix 4. The Quality Review Panel's summary of comments is provided below;

The panel welcomes the proposals for Phases 1B and 2 of St Ann's New Neighbourhood. The work completed to date builds on the comments of the previous chair's review and the successes of Phase 1A. The percentage of affordable housing is particularly commendable, and, with some improvements, this scheme could raise the bar for sustainable, high-quality, affordable development.

The project team's holistic approach to sustainability is supported. Overheating and embodied carbon mitigation could be pushed further to make the scheme more climate resilient. The landscaping is ambitious, but the panel is reassured by the maintenance strategy. The public realm between Plots J1 and J2 should be widened, and the design less formal, drawing through the character of the Site of Importance for Nature Conservation (SINC). The ecological conservation needs of the SINC should be balanced with the amenity needs of local residents. The cargo bicycle store façades should not present blank frontage to the courtyards. A non-residential use fronting onto the new southwestern link and square is a positive feature, but a café here may not receive adequate footfall. Tenants who create a destination use and provide passive surveillance should be attracted as early as possible, to activate this important corner of the site. The ground floor layouts should be tested to ensure that the privacy of bedrooms is protected while activating the streetscape. The entrance experience of some buildings would be improved by creating direct views through straight internal corridors. Further work is required on the gardens of Plot E to balance the needs of private residential amenity space with the green corridor. The internal layouts of floors with single aspect south-facing flats should be revised. The panel is concerned that overheating and noise from the railway will undermine the liveability of these homes. The panel encourages the project team to develop the architectural expression of Plots G and J. These buildings could have a distinct identity from the rest of the scheme, perhaps through choice of materials. The appearance of southern elevations from the Overground and the screening, or celebration, of plant equipment on the roofs requires careful design.

6.3.13 Detailed QRP comments from the most recent review together with the officer comments are set out below in Table 1.

<i>Panel Comments</i>	<i>Officer Response</i>
Sustainability	
<p>The detailed response for Phases 1B and 2 is promising but could be improved by a focus on climate resilience. For example, with increasing summer temperatures, overheating could be further mitigated through recessed windows and projecting balconies for shading.</p> <p>In terms of embodied carbon, the amount of concrete required could be reduced by careful detailing of efficient</p>	<p>Final proposals include projecting balconies to south facing elevations to Plots G and J, and semi projecting balconies to all other elevations.</p> <p>Discussions are ongoing on overheating mitigation conditions.</p>

structures.	
<i>Landscaping</i>	
<p>The landscape design is ambitious, and the panel is pleased to hear that Peabody is taking on the management role that will ensure it is well-maintained in perpetuity.</p> <p>The public realm between Plots G2 and J1 successfully bring the SINC to the south through into St. Ann's New Neighbourhood.</p> <p>However, the public realm between Plots J1 and J2 creates a bottleneck rather than building on this permeable, green vision for the site. The panel suggests making this space more generous and less formal. Opportunities for play could also be incorporated, informed by the woodland nature of the SINC.</p> <p>The project team should consider how the 'ecology walk' through the SINC might be used in ways that create conflict with the ecological conservation needs, for example, by dog walkers. This should be considered to ensure that the needs of wildlife protection and amenity space are balanced.</p> <p>The panel supports the idea of fencing around the SINC. This will help it to feel like a special place to visit, separate from the rest of the open landscaping.</p> <p>The panel understands that the cargo bicycle stores along one edge of the courtyards for Plots F, H and J will be clad in a metal mesh, and therefore will appear more transparent than on the plans. However, it recommends that they are further integrated into the</p>	<p>This applicant has reviewed this through the detailed design process and updated the Landscape DAS submitted with the application.</p> <p>The design officer and nature conservation officer are satisfied with these aspects of the proposal as set out in more detail below.</p>

landscape design, so as not to create a blank frontage on approach to the courtyards.	
<i>Non-residential use</i>	
<p>The panel supports the non-residential use incorporated into the scheme to activate the new southwestern link and square.</p> <p>However, the panel is not yet convinced that this area will receive adequate footfall to support a café, and it thinks that a café business would be better suited to a location fronting onto the central Peace Garden in Phase 1A.</p> <p>A destination use, such as a bicycle repair shop, yoga studio or corner shop could work well, and the panel suggests an open brief for the non-residential use, allowing flexibility for local businesses. This space could also have community uses in the evenings to create passive surveillance around the clock.</p> <p>It is important to ensure that the commercial corner unit is occupied early on as this will ensure overlooking and bring life to the new entrance. To attract tenants, the panel recommends reducing fit out costs and subsidising rents.</p>	<p>The applicant has stated their aspiration to use this space for a cycle shop within the ground floor of Plot G, whilst Peabody will develop a commercial strategy in due course.</p>
<i>Ground Floor Plan</i>	
<p>The panel is concerned about the privacy of bedrooms located on the ground floor. It understands that the project team has built successful precedents with this layout previously, and therefore asks for further detail on how this works, including the long-term management of any planting used to create a buffer zone.</p> <p>Alternative layouts should be tested that would better activate the streets and courtyards. For example, ground floor flats could be accessed directly from the street but still include defensible space, as is common in</p>	<p>Proposals incorporate the QRP's suggestion to maximise street access to GF homes. The majority of ground floor homes have either primary access from the street, or secondary street access via their defensible space except where not possible due to level challenges.</p> <p>Following the QRP's query regarding privacy treatment to ground floor bedrooms, the defensible space to ground floor flats follows the requirements of the Design Code and the approved proposals for Phase 1A.</p> <p>The long-term management of the</p>

London's Georgian housing	defensible planting zone will be maintained by Peabody.
The project team is encouraged to create more generous entrance experiences, particularly for the L-shaped eastern buildings of Plots F and H. If the ground floor cycle storage can be rearranged, the dog-leg internal entrance corridors could be straightened, allowing views all the way through the building.	Proposals incorporate the QRP's suggestion to remove the dog-leg lobby layout and instead introduce through-views to courtyard by rationalising cycle storage, relocating additional bikes to the courtyard.
The gardens of the terraced houses in Plot E are small and appear to be filled with the retained vegetation along the western edge of the site. While it is positive that the project team aims to keep as much existing planting as possible, the needs of the green corridor should be balanced with the needs of private amenity space and daylight for residents.	The strategy for these gardens will follow the Phase 1A proposals. It should be noted these houses also benefit from a first floor roof terrace providing additional amenity space.
<i>Internal Layout</i>	
<p>The panel understands the project team's rationale for repeating upper floor plans. However, this has created some single aspect, south-facing flats in Plots G, H and J which are at odds with the liveability of the rest of the scheme.</p> <p>The panel is concerned that these residents will experience extreme discomfort from overheating in the summer – particularly those on the floors above the tree line. In addition, the noise from the Overground railway line to the south will make window ventilation unappealing as a method of cooling.</p> <p>The internal layouts should be revisited to design these issues out, ensuring that the scheme will meet its aspirations for long-term sustainability.</p>	<p>Applicant is unable to make extensive changes to the proposed floorplans without affecting the proposed density and affordability of the scheme.</p> <p>The following design development to south-facing villa homes has been incorporated in the scheme:</p> <ul style="list-style-type: none"> - The introduction of fully projecting south-facing balconies provide solar shading to living spaces - The removal of all fixed glazing panels, with all window area now fully openable - Lowering G-values to 0.42 - The introduction of active cooling to homes with bedrooms overlooking the railway who may not be able to rely on fully opening windows <p>Discussions are ongoing in relation to conditions related to overheating.</p>

	It should be noted that SINC vegetation provides additional shading at lower levels.
It is noted that the upper floor flats on the eastern side of Plot J are very close to the hospital building. This should be examined to ensure that there will be no overlooking or privacy issues.	There is a 20.5m offset from existing single storey X-ray building to the east of Plot J and therefore do not foresee overlooking and privacy issues.
Natural daylight should also be designed into internal corridors wherever possible. This will create a stronger relationship with the outside and help people to orientate themselves when navigating inside the buildings.	The applicant is not able to make extensive changes to the proposed floorplans without significantly affecting the proposed density and affordability of the scheme. Cores F3 and H3 will have naturally daylight cores.
<i>Architectural Expression</i>	
<p>It is logical that Plots E, F and H follow the design of the terraced housing and courtyard typologies developed in Phase 1A, but Plots G and J are a new building typology. They are not oriented orthogonally in plan and sit instead as pavilions in the landscape. The panel encourages the project team to develop the architectural expression of Plots G and J further.</p> <p>The external appearance of these plots could respond more to the SINC, and have an architectural identity of their own, beyond the design code. One option to create character would be to test alternative materials. This would also help to ensure that the masterplan does not feel overly dominated by brick.</p>	<p>Revised proposals incorporate QRP comments to differentiate the architectural expression of the villas:</p> <p>Brick is retained in line with the requirements of the Design Code, which guides the use of materials for the Scheme. Design officers support using brick as the primary material..</p> <p>Contrasting brick entrances and footings are introduced, as all other buildings have a full storey dark brick base.</p> <p>To the ground floor of the buff brick villas, light contrasting brick banding is introduced, lightening the base. To the ground floor of the red brick villas, a rusticated brickwork base echoes this rhythm.</p> <p>Triple windows at upper levels bring a villa appearance. Brick reveals at upper levels create a 'top' rather than the concrete detailing to the other mansion buildings</p>

As the southern elevations will be very visible to everyone passing by on the Gospel Oak to Barking Overground Line, it is important that this view is well considered and does not feel like the back of the scheme.	Revised proposals incorporate QRP comments to further articulate the southern elevation of the villas to ensure this isn't treated as a 'secondary' façade, including the introduction of recessed panels, vertically linking bedroom windows, and introducing windows to ground floor cycle stores to enhance passive surveillance of the SINC.
The panel encourages the project team to give some attention to the design of the rooftops from key views. The plant equipment located here will need to be either carefully screened or deliberately exposed, especially G2 which contains the largest amounts accommodation. The project team could take inspiration from the retained Victorian water tower in Phase 1A as an example of how architectural expression can celebrate engineering.	Revised proposals incorporate QRP suggestions to use rooftop plant as an opportunity to bring greater rhythm and articulation to roof level, inspired by the Water Tower tank.

Scale

6.3.14 The proposed buildings within Phases 1b and 2 are contained within 5 plots as set out within the consented Design Specification (Plots E to J). Specifically:

- Plot E comprises three-storey terraced housing adjacent to Warwick Gardens.
- Plot F comprises two courtyard buildings of 6 storeys.
- Plot G comprises two villa buildings of 6 storeys and 9 storeys.
- Plot H comprises another courtyard building of 6 – 9 storeys and 5 – 7 storeys.
- Plot J comprises three villa buildings of 9, 8 and 7 storeys.

6.3.15 The scale of development was secured in the Parameter Plans “Maximum Heights” and “Maximum Footprints” which gives an overall maximum floorspace and general built form in the form of a massing envelope.

6.3.16 The height and footprints of all the plots are in conformity with the parameter plans whereby the strategy of concentrating height was centred around the edge of the central park (Peace Garden), including blocks H2 & H3 in this phase, and the pavilions along the southern edge of the site, all in this phase. The height ranges approved in the parameter plans, effectively define possible heights for this reserved matters application.

Layout

6.3.17 The townhouses (Plot E) have almost identical plans to those approved in Plot B (in Phase 1A) except for open plan living/dining/kitchen, whereas Plot B (in Phase 1A) have separate dining kitchen areas. They have no differences in external appearance, promoting tenure blind social integration.

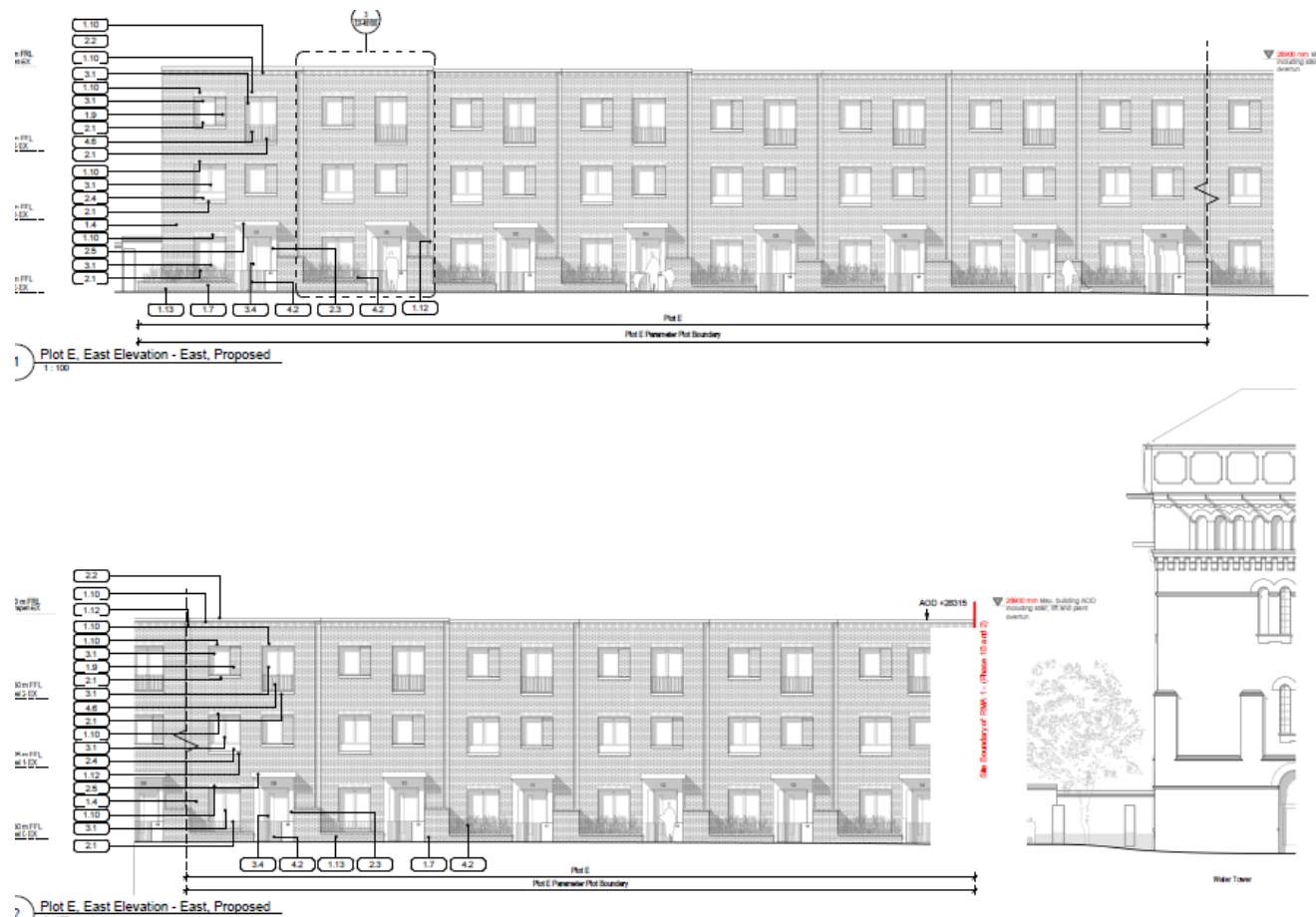


Image 2 – Townhouse elevations

6.3.18 The mansion blocks (Plots F & H) follow the same “classic city block” pattern of development as the equivalent mansion blocks in the detailed portion of the hybrid permission (Plots C & D in Phase 1A), with two blocks wrapping most of the way around a central shared private courtyard garden, open apart from railings and gates at two sides aligned to provide views out and through and support placemaking.

6.3.19 Each plot’s precise layout responds to specific context, with one corner of Plot F, like a different corner of Plot D, opening up to form a pocket square, the “Birch Grove”, facing the retained water tower and around a cluster of retained specimen trees, whilst the north faces of both Plot H, like the east face of Plots D, form taller point blocks facing the Peace Garden and animating a Neighbourhood Square, detailed in the hybrid permission, forming the busy south-western corner of the Peace Garden.

6.3.20 Their internal layouts are similar to those in Phase 1a, with central corridors around some single aspect, mostly dual aspect through and corner flats. In response to QRP concerns, at some instances of dog-leg corridors, some simplifications of internal layout have been achieved, ground floor flats with their own access off the street have been maximised, and to their concerns

about privacy of street facing ground floor bedrooms, defensible street-edge landscaping has been enhanced.

- 6.3.21 The pavilions (or villas) are not a typology designed in detail in the hybrid permission, unlike all others, but are designed in outline in the masterplan and illustrative scheme, and defined in the parameter plans and design code, which define their height, bulk, and approach to layout. So their detailed layout, including that of the commercial unit facing the south-western square in Block G1 are detailed in this reserved matters application.
- 6.3.22 Most of the layout decisions are fixed in the outline proposal, including having five flats per floor, locating the main site-wide energy centre in two of the blocks and in a single storey structure between the two (G1 and 2), and having a retail/commercial unit on the ground floor of G1, which is to provide animation and activity in the South West Square, where the South Western Entrance (included in the detailed part of the hybrid permission) enters the site from Stanhope Gardens.
- 6.3.23 In response to concerns from the design officer and the QRP that the initial reserved matters proposals for this unit did not sufficiently provide sufficient animation, the amount of glazing to this unit has been increased, its main customer entrance has been placed on a faceted corner in order to address both the Primary Street (to its north) and the square, and the reconstituted stone / concrete facia / sign zone has been extended. Whilst the landscaping proposed for the square has been modified to ensure, especially if, as is hoped, the unit has outdoor seating in the square, pedestrian movement desire lines do not cross planting. This provides the possibility that the unit can provide good animation to the pedestrian and cyclists' entrance, and attract footfall to the square, provided an operator can be attracted to the unit very early on, preferably as soon as the unit is completed.



Image 3- Retail unit and landscaping

6.3.24 Overall, the residential and commercial detailed layouts in this reserved matters application follow on from the quality detailed layouts in the consented hybrid permission, with a commercial unit capable of animating the south-western square, and high quality new homes, that seek to be indistinguishable between market and affordable (in several different tenures). All room and flat sizes meet or exceed statutory requirements and provide adequate private external amenity space. Day and sunlight levels, privacy from overlooking and being overlooked along with interesting outlook are all thought about carefully and achieve good results.

Appearance

6.3.25 The townhouses are designed to appear as identical to those in the hybrid permission (Plot B within Phase 1A). The house on the southern end of the row contains more additional side windows than those of the northern end and the ends of the rows in the hybrid permission, in recognition of its additional need to provide passive surveillance to the south-western square.

6.3.26 As noted above, the mansion blocks of Plots F and H follow closely the designs of those of Plots C & D approved in detail in the hybrid permission that

included an illustrative scheme, parameter plans and design codes further requiring matching designs, including their elevational composition.

6.3.27 The only differences are where a more bespoke design is required to respond to its context. The gable ends of Blocks F1 and F2 onto the Birch Grove feature contrasting brick and reconstituted stone cornices, whilst the northern end of Block H2, facing the Neighbourhood Square that forms the south-western corner of the Peace Garden, and with the retained former Admin Building in front but offset to its right, is significantly elaborated with an offset main entrance central to the part of its elevation visible, and with the most ornamental facade composition within the rules of the design code, appropriate to this pivotal position.



Image 4- H1 and H2 elevation

6.3.28 The Pavilions are a unique and different typology to any buildings detailed in the hybrid permission, but in accordance with the masterplan, parameter plans and design codes they retain the consistent, composed, brick-based

architecture of the wider development. However, the pavilions are distinguished from the street-lining mansion blocks of the majority of the St Ann's site, in recognition of their urban morphology being object-type buildings set within natural or fairly natural surrounding landscape. This also responds to QRP concerns that the pavilions be more distinctive.

- 6.3.29 To achieve this distinctiveness within the consistent language across the new neighbourhood, brick detailing to the pavilions has been elaborated, including with rustication, contrasting bricks, elaborated, grouped and recessed windows, and fully projecting balconies, as described below under detailing.
- 6.3.30 The enclosure of the rooftop plant to Block G2 has been designed to be reminiscent of the retained water tower, which is a contextually appropriate expression of the character and use of that block, containing the site-wide energy centre. Southern elevations do not appear as 'backs', but just as elaborated as northern elevations, so that when viewed from the paths through the woodland and more significantly from the railway they will not appear as though they are the back of the development.
- 6.3.31 Overall, the elevational composition of the buildings of this reserved matters application do not result in a dramatic change from those approved in the consented hybrid permission, with even the more unique and object-like Pavilions being clearly and recognisably of the same language of composition. The design officer considers the consistency of the architectural approach to be a strong virtue of the scheme overall, emphasising the primacy of the retained existing buildings and range of landscaped spaces, to which the new predominantly residential buildings will provide a frame, setting and background, whilst providing elegant, attractive, and distinctive homes.
- 6.3.32 Connected to the elevational composition points above, the various plots of this reserved matters application have the same considerations and relations to the consented hybrid permission, its detailed design portions, masterplan, illustrative scheme, and design code. Much more than that though, it has been made clear throughout, and is defined in those hybrid permission approved documents, that the materials and detailing of all phases of the St Ann's development are defined in that hybrid permission, or subject to conditions of that planning permission.
- 6.3.33 In particular, the current 'submission of details' application HGY/2024/0148 seeks discharge of Condition 56 (i) (External Facing Materials – Bricks Only) attached to Planning Permission Ref: HGY/2022/1833, the hybrid permission. The Design Officer has attended the site to inspect brick sample panels, displayed in conjunction with colour swatches for joinery and metalwork proposed, for all buildings within the development, and indicated that they are considered acceptable; durable, attractive in appearance and in accordance with the proposed development. They also looked good and appropriate in context with the samples/colour swatches relevant for the joinery & metalwork throughout the development. There will also be a series of concrete/reconstituted stone for which samples will need to be approved, but it would therefore be appropriate for the same materials to be used in these Phases and the remaining stages as those already chosen and approved for the first phase (i.e. for the detailed portion of the hybrid permission). Given that the hybrid consent only conditioned materials for Phase 1A, it is considered

that a similar condition be imposed on the reserved matters submission in order to secure the same quality materials for Phases 1B and 2.

- 6.3.34 For building details, for the townhouses and mansion blocks, much of the same conditions will apply, that the key will be that the same or virtually indistinguishable details are used in this & subsequent phases as are used in the 1st phase detailed in the hybrid permission, in order to maintain consistency across the development. Nevertheless, this phase contains the pavilions, which are a unique typology in the wider development, giving rise to a few specific concerns with respect to their detailing, due to their woodland edge location at the southern edge of the site, overlooking the railway and acting as objects in space rather than street lining blocks.
- 6.3.35 The QRP suggested that the pavilions should be more distinctive and different in architectural expression and materials, reflecting their naturally landscaped setting, perhaps using materials other than brick. They also noted that the pavilions' southern location, open aspect and that one of their 5 flats per floor is single aspect south facing, made them vulnerable to overheating, especially given the railway just to their south might make open windows noisy. The applicants' architects have indicated their preference for the pavilions to remain predominantly in brick, to protect the overall consistency of this new neighbourhood, in view of the proven durability and attractiveness of that material, and its compatibility with the retained heritage buildings and wider brick dominated surrounding character.
- 6.3.36 However, the applicant has modified the brick detailing to create greater contrast between the pavilions and the mansion blocks. Contrasting brick entrances and footings, rather than full storeys of dark brick on the mansion blocks, light contrasting brick banding to the proposed buff brick (central) villas, referencing the Peabody heritage, that detail being common to the many Peabody estates across London, a rusticated ground floor to the red brick villas (G1, J2 & 3), dramatic triple window details to the top floors, with recessed panels between, and brick reveals to the top floors rather than concrete to the mansion blocks, all should give the pavilions a distinctive contrasting character.



Image 5- Block G1 elevation



Image 6- Block J3 elevation

6.3.37 Balconies to the south facades of the pavilion would also be fully projecting, giving better shading to rooms below them, in response to the QRP and officer's overheating concern, giving residents greater engagement with their landscaped setting and the buildings reflecting their object-in landscape rather than streetscape character. The projecting balconies combined with the elaboration to the top floors should ensure they do not read as the back of the development, but rather as another frontage.

6.3.38 The Design Officer is satisfied that the pavilions' materials and detailing will be distinctive and attractive, appropriate to their landscaped setting and objects-in-landscape character, whilst remaining consistent with the character and high quality of the rest of the development.

6.4 Landscaping

Policy Context

6.4.1 London Plan Policy G4 states that development proposals should not result in the loss of open space. Policy G5 requires major development proposals to contribute to the greening of London by including urban greening as a fundamental element of site and building design. Predominantly residential

developments should meet a target urban greening score of 0.4. Policy G6 states that Sites of Importance for Nature Conservation (SINCs) should be protected and seeks to secure biodiversity net gain. Policy G7 states that existing trees of value should be retained and replacement trees should be shown to be adequate through an appropriate tree valuation system. Statutory Biodiversity Net Gain does not apply as the outline permission was received prior to the implementation of this legislation.

- 6.4.2 Policy SP13 of the Local Plan seeks to protect and improve open space and provide opportunities for biodiversity and nature conservation. Policy SP11 promotes high quality landscaping on and off-site.
- 6.4.3 Policy DM1 of the Development Management DPD requires proposals to demonstrate how landscape and planting are integrated into the development and expects development proposals to respond to trees on or close to a site. Policy DM19 states that developments adjacent to SINCs should protect or enhance the nature conservation value of the designated site. Policy DM20 states that development that protects and enhances Haringey's open spaces will be supported. Reconfiguration of open space is supported where there is no net loss of open space across the site. Policy DM21 expects proposals to maximise opportunities to enhance biodiversity on-site.

Outline planning consent requirements

- 6.4.4 The approved parameter plans and design code secured the extent of landscaping which are detailed here for the first time for these elements within Phase 1B/2, whilst considering that the greatest distinctiveness of the whole St Ann's development is to be found in the generous and high quality landscaping, with the buildings generally forming more of a background.
- 6.4.5 The main central park space for the development, the Peace Garden, is detailed in the consented hybrid permission, and the designs of most of the streets of this reserved matters application follow those of the streets in the hybrid permission, while the expanded woodland along the southern boundary is a major landscape feature only found in this phase, as are the spaces between the pavilions and the green street, which together draw the woodland into the heart of the site, and are also unique to this phase.
- 6.4.6 The Design Code is particularly prescriptive on landscaping, both hard and soft, with a long and detailed section on Landscape and Public Realm coding. This reflects the overall intention for the development to be designed around the importance placed on preserving key existing trees and areas of landscaping within the site.
- 6.4.7 The existing woodlands along the southern edge of the site, against the shallow embankment of the Gospel Oak to Barking railway line (London Overground Suffragette Line) is designated as a Site of Importance for Nature Conservation (SINC, of Local significance). The railway tracks and both embankments themselves are also designated as SINC (Grade II, a higher designation), as well as an Ecological Corridor, recognising its value to biodiversity both as habitat and movement corridor.

Assessment of proposals

6.4.8 Aspects of the proposed landscaping, particularly the Primary Street around the development and the Gated Courtyards at the heart of the urban blocks (plots F & H), follow the designs previously approved in the hybrid permission, but the majority of their landscape elements of this phase are unique. These comprise the “Birch Grove” pocket park, the “Green Link” wooded swale street, the smaller pocket parks between the pavilions and the wooded SINC (Site of Importance for Nature Conservation).



Image 7 – Landscape plan

6.4.9 Landscape designs for the Primary Street and Gated Courtyards within this reserved matters application are also functional when compared to the range of unique spaces, particularly the Peace Garden (approved in the hybrid), the SINC (in these Phases), the four or five smaller public squares (one of which is in this application).

6.4.10 It is planned, under the approved masterplan, parameter plans and design code, for the existing woodlands along the southern edge of the site to be expanded northwards further into the site. It will be managed by a wildlife trust, and a visually ‘light’ fence will provide clear psychological and gently persuasive separation from generally accessible public realm, including the South-West Path, which should balance conservation needs with its role providing amenity to residents.

6.4.11 The spaces between the pavilions further extend the natural, wooded landscaping and biodiversity opportunity into the site, then connecting via the wooded swale of the Green Street into the central Peace Garden, setting up a new ecological corridor connected to the existing one. The “Forest Garden”

between Blocks G2 and J1 will be particularly effective at this. The “Villa Court” between J1 and 2, a predominantly wooded space will also to an extent, although the space between G1 and 2 is largely taken up with the single storey structure for the site-wide energy centre, with a green roof. The slightly informal layout of the villas, which means they roughly follow the alignment of the primary street, will allow a variable width zone of informal landscaping including trees between the villas and their street frontage, which should further embed the pavilions into the expanded SINC. The Design Officer is supportive of the naturally landscaped setting this will give the villas.

6.4.12 QRP questioned whether the space between Blocks G1 & 2 could be made wider, but this space width was fixed with the parameter plans approved as part of the hybrid, and officers are convinced the applicants have shown the wooded character of the SINC will be successfully drawn through this space, despite its more onerous functional requirements such as providing access to residents’ bin and bike stores. They were also concerned at the freestanding bike stores on the wider edges of the gated courtyards located between the mansion blocks (in Plots F and H), having blank facades onto those courtyards, so therefore, these have been amended to a mesh material.

6.4.13 Overall, the QRP praised the ambitious landscaping and reassuring maintenance strategies of the development.

6.4.14 The primacy, thoughtful detail and exemplary quality of the landscaping proposed as part of this reserved matters application, along with the convincing management plans for it and its integration with the buildings and uses, continue to demonstrate the centrality of high quality amenity space, attractive landscaping, and careful and determined nature conservation. Furthermore a substantial number of trees are retained and significant tree planting is secured through the outline permission (176 new trees consisting of 48 x large sized species, 87 x medium sized species and 41 x small sized species) to ensure the provision of a ‘biophilic neighbourhood’ with greenery at its heart in this proposal.

6.4.15 The Council’s Tree Officer has been consulted on this reserved matters application and raised no objections as the submitted Arboricultural Statement and accompanying Tree Protection Plan (TPP) has been agreed at design and pre-application stage, which included a site visit with the TPP installed. This follows on from the consented hybrid permission whereby the number and quality of trees being removed are generally small and medium trees only with large, veteran or ancient trees not being removed. A wide selection of replacement tree species forms part of the details which contribute to the creation of a series of landscaped character areas across the site and providing a year-round interest.

6.5 Heritage Impact

6.5.1 Paragraph 196 of the revised NPPF sets out that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.

- 6.5.2 London Plan Policy HC1 is clear that development affecting heritage assets and their settings should conserve their significance, by being sympathetic to their form, scale, materials and architectural detail and places emphasis on integrating heritage considerations early on in the design process
- 6.5.3 Policy SP12 of the Local Plan seeks to maintain the status and character of the borough's conservation areas. Policy DM6 of the DM DPD continues this approach and requires proposals affecting conservation areas and statutory listed buildings, to preserve or enhance their historic qualities, recognise and respect their character and appearance and protect their special interest.
- 6.5.4 The northern part of the development site is located within St Ann's Conservation Area characterised as a mid-19th century pre-railway development of Tottenham along one of the historic east-west routes connecting with Tottenham High Road. The large landscaped open space of Chestnuts Park fronts the wider development site and derives from the grounds of Chestnut House, a mansion dating from the 1850s that was demolished in the 1980s. Chestnut Park forms an attractive and well used public green space characterised by its sense of openness and by its mature trees, shrubs, railings and historic gates and gate piers that define its boundary
- 6.5.5 The St Ann's hospital site dates from the 1890s and has its origins as a Metropolitan Asylums Board fever hospital. Most of the buildings located within the site and in the conservation area are the remnants of the original Victorian hospital, which was redeveloped in the mid-20th Century. These historic buildings are set behind the historic, brick boundary wall with brick plinth and copings and a series of buttresses and piers which enclose the southern side of St Ann's Road thus contributing to define its character.
- 6.5.6 The enclosed hospital site is perceived as part of the historic environment of the Conservation Area due to glimpses of those original hospital buildings that sit behind the boundary wall where the mature vegetation complements the green character of Chestnuts Park.
- 6.5.7 The original hospital buildings that characterise the Conservation Area are the locally listed Orchard House and Mayfield House together with the positive contributors Acacia House, Mulberry House, East Gate Lodge and West Gate Lodge.
- 6.5.8 The boundary wall of the hospital site provides a distinctive sense of enclosure along St Ann's Road, and the perceived separation between the hospital site and the residential development in Conservation Area are established, positive features of the area.
- 6.5.9 The Site is bounded to the east by the refurbished St Ann's Hospital Site with buildings of various style ranging from 2-3 storeys to the south it is bounded by

the Overground railway line and to the west by the rear gardens of properties fronting Warwick Gardens.

- 6.5.10 The detailed application for the northern development phase 1A within Conservation Area was approved in 2023 as part of a Hybrid application that also included the Outline application for the following development phases 1B, 2 and 3 whose appearance, landscaping, layout, and scale were reserved for subsequent determination at Reserved Matters stage.
- 6.5.11 The Hybrid application ensured maximum retention of both those locally listed and those historic buildings that positively contribute to the character of the Conservation Area, retained the defining boundary wall to the site and the enclosed and leafy character of the St Ann's frontage of the hospital and Outlined a progressively taller new development towards the south of the wider site.
- 6.5.12 Retained buildings outside the Conservation Area were set to become focal points for new streets and spaces tied together by a consistently re-designed landscape that balances with its soft openness the spatial and visual relationship between retained and new buildings; the pivotal design of the generous Peace Gardens centrally located within the wider development site will positively mediate between the development in Conservation Area and the emerging taller development proposed to the immediate south of the Conservation Area boundary.
- 6.5.13 The approved Hybrid scheme involved various development plots and various building typologies meant to respond to the character of retained buildings and places, but also to create new character within in the wider development site and to bring definition to the spaces between the buildings.
- 6.5.14 This Reserved Matters Application (RMA) further develops the design of the southern phases of development 1B and 2 that extend to the immediate south of the scheme-defining Peace Gardens and includes the erection of new buildings for residential, commercial business, service, local community and learning uses, altogether with associated pedestrian and cycle accesses; landscaping including enhancements to the St Ann's Hospital Wood and Tottenham Railside's Site of Importance for Nature Conservation (SINC) car and cycle parking spaces and servicing spaces.
- 6.5.15 The new buildings in phases 1B and 2 promise to complement and complete the approved development in Phase 1A, whose retained Admin Building and Water Tower sit in close proximity to the RMA development that will frame the southern side of the Peace Gardens, will constitute the visual backdrop to The Admin Building in southern views across the wider development site, and will complete the definition of the axial Primary Street West characterized by the retained Water Tower .

- 6.5.16 The illustration of the transition from the scale of development in Conservation Area to the taller built environment framing the Peace Gardens and the illustration of the urban and architectural relationship between approved phase 1A and RMA phases 1B and 2, including the assessment of the heritage impact of proposed development, rest both on the information provided at Hybrid application stage that included Sitewide Masterplan and Sitewide Sections, sketches and CGI's of the whole Masterplan, Built Heritage Statement and TVIA as well as on contextual drawings to scale 1:500, 1:250 and 1:100 and images included in the Heritage Statement and Design and Access Statement forming part of this RMA application.
- 6.5.17 Views of The Admin Building and of the Water Tower as experienced from Phase 1A and their spatial and architectural relationships with new buildings and places in Phase 1B and 2 is captured in CGI Views and sketches included in the Design and Access Statement submitted with this MA application
- 6.5.18 The Conservation Officer notes that during the assessment of the Hybrid permission it was concluded that the new development would provide an unprecedented, taller, and denser built background to the retained heritage buildings in southwards views across and out of the Conservation Area, it will have a minor adverse impact on the setting of the Conservation Area, and this will lead to a low level of less than substantial harm to its significance. These conclusions related to the assessment of the entire masterplan based on detailed design information for phase 1A and Outline design for phase 1B and 2 . The heritage assessment triggered the need to weigh the harm against the public benefits of the proposal while placing great weight on the asset's conservation irrespective of the level of harm to its significance.



Image 8 – new development in heritage context

6.5.19 The Conservation Officer notes that this RMA application now provides greater design definition in relation to the tallest development Phases 1B and 2 and greater clarity about the consistency of design quality and connectivity between retained heritage buildings and new development that complies with the masterplan, parameter plans and design codes approved at Hybrid application stage and this is extensively illustrated in this application through group elevation drawings and images included both in the submitted Heritage Statement and in the Design and Access Statement. The architectural merits of phase 1B and 2 as fully compliant with the design guidance set at Outline application stage, and the landscape design quality of the proposed scheme

are clearly articulated in the design officer's comments to this application and are acknowledged as potential mitigators to the heritage impact.

6.5.20 However, The Conservation Officer notes that the impact of new development is largely due to its scale and height as perceived in the visual setting of the Conservation Area, and the level of design detail provided in this RMA application does not allow to fully appreciate how the detailed design of new buildings neighbouring the historic Admin Building and The Water tower has been directly influenced by the retained buildings and will possibly reinforce their presence within a substantially different and more imposing built environment. Accordingly, and based on the information provided with this RMA application, it is concluded that the proposed development in phases 1B and 2 will lead to a low level of less than substantial harm as anticipated at Hybrid consent stage, and the test indicated at paragraph 207 of the NPPF applies together with all the other relevant national and local policies.

6.6 Housing mix

6.6.1 The NPPF 2021 states that where it is identified that affordable housing is needed, planning policies should expect this to be provided on site in the first instance. The London Plan also states that boroughs may wish to prioritise meeting the most urgent needs earlier in the Plan period, which may mean prioritising low-cost rented units.

6.6.2 Local Plan Policy SP2 states that subject to viability, sites capable of delivering 10 units or more will be required to meet a Borough wide affordable housing target of 40%, based on habitable rooms, with tenures split at 60:40 for affordable rent and intermediate housing respectively. Policy DM13 of the DM DPD reflects this approach and sets out that the Council will seek the maximum reasonable amount of affordable housing provision when negotiating on schemes with site capacity to accommodate more than 10 dwellings, having regard to Policy SP2 and the achievement of the Borough-wide target of 40% affordable housing provision, the individual circumstances of the site Development viability; and other planning benefits that may be achieved.

6.6.3 London Plan (2021) Policy H10 states that schemes should generally consist of a range of unit sizes. To determine the appropriate mix of unit sizes in relation to the number of bedrooms for a scheme, it advises that regard is made to several factors. These include robust evidence of local need, the requirement to deliver mixed and inclusive neighbourhoods, the nature and location of the site (with a higher proportion of one and two bed units generally more appropriate in locations which are closer to a town centre or station or with higher public transport access and connectivity), and the aim to optimise housing potential on sites.

6.6.4 The London Plan (2021) states that Boroughs may wish to prioritise meeting the most urgent needs earlier in the Plan period, which may mean prioritising low cost rented units of particular sizes.

- 6.6.5 Policy SP2 of the Local Plan and Policy DM11 of the DM DPD adopts a similar approach.
- 6.6.6 Policy DM11 of the DM DPD states that the Council will not support proposals which result in an over concentration of 1 or 2 bed units overall unless they are part of larger developments or located within neighbourhoods where such provision would deliver a better mix of unit sizes.
- 6.6.7 Annex 1 of the consented hybrid permission requires a Planning Compliance Statement to be submitted with each Reserve Matters Application. This includes the quantum, tenure mix, unit mix and location of proposed housing.
- 6.6.8 The reserved matters proposal for Phase 1B/2 comprises of 464 residential units, with the tenure mix set out in the table below:

Tenure	1B	2B	3B	4B	Total	Unit %	Hab room %
Option for Community-led Homes	11	34	13	0	58	8.3%	8.6%
London Affordable Rent	69	86	41	14	210	35.3%	35.4%
London Living Rent	7	16	15	0	38	8.5%	8.7%
Private Sale	49	64	12	0	125	38.4%	38.2%
Shared Ownership	6	27	0	0	33	9.5%	9.1%
Totals	142	227	81	14	464	100%	100%

Table 2 – RMA 1 residential component split by tenure and mix on a unit and hab room basis

- 6.6.9 The Development Specification document approved under the consented scheme estimated the delivery of approximately 198 units for Phase 1B and approximately 276 homes for Phase 2, totalling 474 homes. The proposals for Phases 1b and 2 are within the approximate quantum as set out in the Illustrative Masterplan and below the maximum number of 995 homes set out in the hybrid consent.
- 6.6.10 The following table sets out the detailed breakdown of the housing across each plot. The locations of housing tenure are illustrated in the floor plan below and can be identified by block/plot across London Affordable Rent (yellow), London Living Rent (orange), Shared Ownership (blue) and Private Sale (green).

Plot	Tenure	1B2P	2B3P	2B4P	3B4P	3B5P	4B6P	Count
Plot E								
E	London Affordable Rent	0	0	0	0	0	14	14
Plot F								
F1	London Affordable Rent	21	4	20	0	0	0	45
F2	Private Sale	16	6	12	0	6	0	40
F3	Private Sale	10	12	0	0	6	0	28
Plot G								
G1	Option for Community-led Homes	5	0	20	0	0	0	25
G2	London Affordable Rent	8	0	17	0	17	0	42
Plot H								
H1	London Affordable Rent	12	0	11	0	0	0	23
H2	Private Sale	23	0	34	0	0	0	57
H3	Shared Ownership	6	18	9	0	0	0	33
H4	London Affordable Rent	20	7	9	0	7	0	43
Plot J								
J1	London Affordable Rent	8	2	16	3	14	0	43
J2	London Living Rent	7	2	14	4	11	0	38
J3	Option for Community-led Homes	6	8	6	0	13	0	33
Total Units		142	59	168	7	74	14	464



Image 9 – affordable housing layout

6.6.11 In terms of compliance with the hybrid consent, Phase 1a, 1b and 2 deliver a total of 703 residential units which result in a split of affordable to private on a housing basis of 62% to 38% which is in excess of the approximate 60% target at this stage, noting that Phase 3 will likely include the delivery of slightly more private homes. The full breakdown of Phases 1a, 1b and 2 are included in the following table.

Tenure	1B2P	2B3P	2B4P	3B4P	3B5P	4B6P	Total	%	AH split
Option for Community-led Homes	11	8	26	0	13	0	58	8%	62%
London Affordable Rent	69	13	73	3	38	14	210	30%	
Older Adults London Affordable Rent	36	2	0	0	0	0	38	5%	
London Living Rent	17	2	26	4	11	0	60	9%	
Shared Ownership	22	18	21	0	6	0	67	10%	
Private Sale	91	31	109	0	21	18	270	38%	38%
Total	246	74	255	7	89	32	703	100%	
Percentage	35%	11%	36%	1%	13%	5%	100%		

6.6.12 Phase 3 at this stage is anticipated to deliver up to 282 residential units subject to final design amendments. This would amount to approximately 985

residential units which falls within the maximum consented amount of 995 with the hybrid permission.

Tenure	1B2P	2B3P	2B4P	3B4P	3B5P	4B6P	Total	%	AH split
Option for Community-led Homes	11	8	26	0	13	0	58	8%	62%
London Affordable Rent	69	13	73	3	38	14	210	30%	
Older Adults London Affordable Rent	36	2	0	0	0	0	38	5%	
London Living Rent	17	2	26	4	11	0	60	9%	
Shared Ownership	22	18	21	0	6	0	67	10%	
Private Sale	91	31	109	0	21	18	270	38%	38%
Total	246	74	255	7	89	32	703	100%	
Percentage	35%	11%	36%	1%	13%	5%	100%		

6.6.13 Therefore the mix and tenure of the proposal is acceptable and in line with the hybrid permission.

6.7 Conditions

6.7.1 Consent is also sought for the partial approval of Conditions 63 (Reserved Matters Compliance Statement), 65 (Drawing References), 66 (Cycle Provision), 67 (Accessible Housing), 68 (Fire Statement), 69 (Ecological Impact Assessment), 70 (Circular Economy Statement), 71 (Surface Water Drainage Scheme), 72 (Boundary Walls) and 73 (Climate Change Adaptation) for Phases 1b and 2 of the site of Outline Planning Permission Reference HGY/2022/1833, as the wording of each of these conditions requires submission alongside a reserved matters application.

Condition 63 – (Reserved Matters Compliance Statement)

6.7.2 Condition 63 of the outline planning permission states that “Each application for Reserved Matters submitted pursuant to Condition 61 shall contain the information set out in the Planning Compliance Report included at Annex 1 of this Decision Notice.

6.7.3 The submission is accompanied by all the documentation contained within Annex 1 of the hybrid planning consent.

Condition 63 (Annex 1)

- Travel Plan
- Delivery, Servicing and Refuse Management Plan
- Car Park Management Plan

- 6.7.4 The principle of these elements and the overall approach were discussed and agreed as part of the consent for HGY/2022/1833 and a Car Parking Management Plan has been submitted in support of this application.
- 6.7.5 Some of the relevant key points from this reserved matters application are:
- 'Car-lite' development – residents will not be able to apply for permit within CPZ (current or future).
 - 59 x car parking spaces (within Phases 1b and 2).
 - 3% disabled parking provided up front. Additional 2% provision, based on future demand (not 7% additional, as per London Plan).
 - Electric Vehicle Charging Points (EVCPs) included – 20% active of total provision, 80% of remaining provision.
- 6.7.6 The provision for car parking is proposed to be on-street within the development site, rather than located within any buildings. A minimum width of 2m is allowed for, with lengths of 6m (6.6m for accessible bays). Parking bays are delineated through the use of a different material to that of the internal road network and are all proposed to be constructed from permeable material. Accessible bays are planned to be located within 50m of their respective residential block. The proposed car parking spaces are all acceptable in terms of their measurements and location throughout the site.
- 6.7.7 The quantum of parking spaces, within the phases included within the reserved matters application, equates to a ratio of 0.13 parking spaces per residential unit (the total parking ratio, as stated in the hybrid application – HGY/2022/1833 – was 0.17).
- 6.7.8 Provision for accessible bays is proposed to be 3% of total parking spaces, with an additional 2% proposed based on future demand. This is lower than the London Plan recommended 7%. The London Plan states that:
“as a minimum as part of the Parking Design and Management Plan, how an additional seven per cent of dwellings could be provided with one designated disabled persons parking space per dwelling in future upon request as soon as existing provision is insufficient. This should be secured at the planning stage”.
- 6.7.9 However, the proposed principle has been accepted as part of the hybrid consent (HGY/2022/1833). Nevertheless, with details of the final phase of the development to come forward, it would be important to recognise that increased provision of accessible bays may be required and should be considered.
- 6.7.10 EVCPs are proposed to be provided for all spaces, with a total of 12 x active and 47 x passive EVCPs; this meets the required 20% active / 80% passive ratio, as per London Plan policy T6.1(C).
- 6.7.11 The proposed overall strategy for car parking management includes:
- No freehold sale of parking spaces
 - No allocation of specific spaces
 - Enforcement by private contractor
 - Various enforcement measures in the event of unauthorised parking

6.7.12 It is proposed, as stated within the Car Parking Management Plan to allocate the spaces designated for the affordable dwellings, based on the following prioritised basis:

- First priority will be given to units with 3 bedrooms or more where a resident has a specific need for a vehicle to undertake their job;
- Second priority will be given to units with 3 bedrooms or more;
- Third priority will be given to units with 2 bedrooms or fewer where a resident has a specific need for a vehicle to undertake their job; and
- Fourth priority will be given to units with 2 bedrooms or fewer.

6.7.13 The principle of this is supported.

6.7.14 It is proposed, as stated within the Car Parking Management Plan to allocate the spaces designated for the private dwellings, based on the following prioritised basis:

- Blue badge holders (in the first instance);
- Then on a first come, first served basis.

6.7.15 The principle of this is supported.

6.7.16 For the commercial element, 1 disabled space for non-residential use (Plot G) has been proposed. This meets the requirement, as per London Plan policy T6.5.

Condition 65 – (Drawing References)

6.7.17 Condition 65 of the outline planning permission requires that “Each Reserved Matters application for landscaping, layout, scale and appearance (a) must conform with the approved Design Code and Development Specification and Parameters Plans including drawing numbers:

N15301-KCA-ZZ-ZZ-DR-A-01200 to 01205.

6.7.18 And (b) must be accompanied by a written statement setting out how the development within the relevant reserved matters submission conforms with the approved Design Code, Development Specification and Parameters Plans.

6.7.19 The submission is accompanied by a Proposals and Outline Masterplan Compliance Statement that demonstrates compliance and compatibility with the various details, strategies, drawings and other documents approved pursuant to the outline planning permission. Further, no variations to the approved parameter plans are proposed as part of the reserved matters submission.

Condition 66 – (Cycle Provision)

6.7.20 Condition 66 of the outline planning permission states:

“Each reserved matters application shall include details of long and shortstay cycle parking provision, for both residential and non-residential elements of the development, in line with the London Plan (2021) standards and the London

Cycle Design Standards (except aisle width requirements which may be deviated from with reasonable justification)."

6.7.21 Within the submission documents, it is stated that:

Cycle parking will be provided in accordance with the London Cycle Design Standards through the provision of:

- 5% of spaces to accommodate larger cycles - large enough to accommodate cargo bikes.*
- 20% of Sheffield Stands (with no tier above).*
- 1m between Sheffield Stands.*
- No more than 2 sets of doors.*
- 2.5m aisle widths (in agreement with LBH & TfL at the Hybrid Application Stage (HGY/2022/1833)).*
- Josta (gas assisted) two tier for remaining stands (See Figure 4.1), with:*
 - o 400mm spacing between racks.*
 - o 2.6m floor to ceiling height.*

6.7.22 The principle of these elements and the overall approach were discussed and agreed as part of the consented hybrid permission.

Residential:

Long Stay:

6.7.23 Cycle parking for each of the houses (Plot E) is proposed be located externally, in stores at the rear of the properties.

6.7.24 Cycle parking for each dwelling within the apartment blocks (Plots F-J) is, for the most part, proposed to be located within their respective block, with supplementary courtyard stores to accommodate the remainder of the storage. Accessibility for the proportion of larger cycles appears to be in accordance with the previously agreed principles.

Short Stay:

6.7.25 Short-stay cycle parking is proposed to be apportioned across this relevant phase area, in the form of externally located Sheffield stands. Although some of the stands are proposed to be located outside of the site boundary of this reserved matters application, the principle of their proposed positioning on footways and other spaces is acceptable.

6.7.26 The quantum and design of the proposed cycle parking is acceptable.

Commercial:

6.7.27 Cycle parking is planned for the proposed commercial space of the development; it is proposed that this space will be within Use Class E, F1/F2, with a GIA of 99.3sqm.

6.7.28 The proposed quantum of commercial / non-residential cycle parking is 1 x long stay space and 3 x short stay spaces.

6.7.29 Overall, the quantum of proposed cycle parking is acceptable. The long stay non-residential is provided within the space of the commercial development not the residential blocks. It is not mixed with the long stay residential cycle parking. There are 8 Sheffield type stands located in close proximity to the non-residential unit in Block G – enough for 16 cycles). This provides more than enough cycle parking for residential and non-residential short stay requirements and provides flexibility for both uses.

Condition 67 – (Accessible Housing)

6.7.30 Condition 67 of the outline planning permission states:

“Each reserved matter(s) application for layout shall be accompanied by comprehensive accessible housing strategy that demonstrates how the submission meets and provides 10% of residential dwellings in accordance with Approved Document M M4(3) (‘wheelchair user dwellings’) of the Building Regulations (2015) and all other homes shall meet approved document M M4(2) (‘Accessible and adaptable dwellings’) across the whole of the Masterplan.”

6.7.31 Forty-seven (47) of the total 464 units which equates to (10.1%) of the proposed homes have been designed to meet wheelchair user home standards in accordance with Building Regulations requirement M4(3). All other dwellings would meet the accessible and adaptable homes requirements of M4(2). The wheelchair units would be spread throughout all phases, tenures and property sizes of the proposed development.

Condition 68 – (Fire Statement)

6.7.32 Condition 68 of the outline planning permission states:

“Each reserved matter(s) application for layout, scale and appearance shall be accompanied by a detailed fire statement (in order to meet Gateway One or equivalent). The development shall thereafter proceed in accordance with recommendations and mitigation measures recommended in the statement.”

6.7.33 The details for this condition were referred to the Health and Safety Executive (HSE), who commented as follows:

“For the avoidance of doubt, HSE has assessed this application against the cited (extant) fire standards and guidance, not London Plan Policy D12. Following a review of the information provided in the planning application, HSE is content with the fire safety design as set out in the project description, to the extent it affects land use planning considerations. However, HSE has identified some matters as supplementary information, set out below, that the applicant should try to address, in advance of later regulatory stages.” These matters would be dealt with by informatives on any planning consent granted.

6.7.34 Policy D12 of the London Plan requires a fire safety statement to be submitted which has been prepared by a suitably qualified third-party assessor, demonstrating how the development proposals would achieve the highest standards of fire safety, including details of construction methods and materials, means of escape, fire safety features and means of access for fire

service personnel. Policy D5 of the London Plan also seeks to ensure that developments incorporate safe and dignified emergency evacuation for all building users. In all developments, where lifts are installed, as a minimum, at least one lift per core (or more, subject to capacity assessments) should be a fire evacuation lift, suitably sized to be used to evacuate people who require level access from the buildings.

6.7.35 The fire safety of the development would be checked at building regulations stage. For the purposes of this application, the submitted Fire Statement confirms that one lift per core would be suitable for emergency evacuation, that fire service vehicles would be able to reach the new dwellings from the access points in the north of the wider site and that water sources for dealing with fires would be available either outside of or within the application site. All communal stairwells would be constructed as fire-protected stairs all flats would be protected by sprinklers and all blocks would be finished in fire-rated external wall systems.

6.7.36 It is considered that the information submitted satisfies the requirements of the condition subject to the informatives set out by the HSE.

Condition 69 – (Ecological Impact Assessment)

6.7.37 Condition 69 of the outline planning permission states:

“Each reserved matters application for landscaping shall be accompanied by detailed ecological impact assessment, undertaken by a suitably qualified individual, that includes the results of appropriate up to date surveys, full details of on site mitigation and enhancement measures to deliver a net gain in biodiversity (including bat boxes, bird boxes, bee bricks and a sensitive lighting scheme) and associated long term maintenance and monitoring plan. The development shall proceed in accordance with the mitigation and enhancement measures.”

6.7.38 The submitted details were referred to Natural England who had no comments to make on this reserved matters application. The lack of comment from Natural England does not imply that there are no impacts on the natural environment, but only that the application is not likely to result in significant impacts on statutory designated nature conservation sites or landscapes. They have advised it is for the local planning authority to determine whether or not this application is consistent with national and local policies on the natural environment.

6.7.39 The details were also referred to the Council's Biodiversity officer, who raised no objections to the submitted details.

6.7.40 It is considered that the information submitted satisfies the requirements of the condition.

Condition 70 – (Circular Economy Statement)

6.7.41 Condition 70 of the outline planning permission states:

“Each reserved matter (s) application for scale, layout and appearance shall be accompanied shall be accompanied by a Circular Economy Statement with an appropriate level of detail and Operational Waste Management Strategy in line with the GLA’s Circular Economy Statement Draft Guidance dated September 2020, which shall be submitted to and approved in writing by the Local Planning Authority. The statement shall adhere to the principles set out in the draft Circular Economy Statement. The development shall be carried out in accordance with the details so approved.”

6.7.42 Policy SI7 requires applications referable to the Mayor of London to submit a Circular Economy Statement demonstrating how it promotes a circular economy within the design and aim to be net zero waste. Haringey Policy SP6 requires developments to seek to minimise waste creation and increase recycling rates, address waste as a resource and requires major applications to submit Site Waste Management Plans.

6.7.43 The report goes into more details than the principles approved in the outline permission. The principles used for this development are:

- Sourcing materials responsibly
- Designing for durability and resilience (>60 years)
- Implementing measures to optimise material use on site
- Incorporating recommendations from the pre-demolition waste audit
- Implementing waste minimisation targets during demolition and construction
- Ensuring there is sufficient space for storage and segregation of operational waste
- Designing flexible and adaptable buildings (commercial buildings’ use changing between 5-25 years)

6.7.44 The report sets out the Key Commitments (Table 4-1), Bill of materials (Table 4-2) and Recycling and waste reporting form (Table 4-3). This is a fairly high level of information, and the applicant expects this to become more detailed as the detailed design progresses following permission.

6.7.45 The Pre-Demolition and Pre-Refurbishment Audit summarises that the dominant materials on site by weight are 67% concrete, 23% brick, and 5% metals. It is estimated that 5% of materials are suitable for reuse. Where re-use is not feasible, recycling or local waste management options have been identified.

6.7.46 The End-of-Life Strategy is based on repurpose and independent replacement of elements with shorter lifespans than the buildings. To extend the lifespan as long as possible, the strategy is to specify durable and standardised materials, designing for disassembly and reuse at the end of life, storing building information to facilitate disassembly, or refurbishment of buildings. Material passports will describe material characteristics, methods of disassembly and reuse, etc, but its use will depend on the implementation of BIM and the detailed design stage.

6.7.47 It is considered that the information submitted satisfies the requirements of the conditions.

Condition 71 – (Surface Water Drainage Scheme)

6.7.48 Condition 71 of the outline planning permission states:

“Each reserved matters application shall be submitted with a Surface Water Drainage scheme with an appropriate level of detail for site that shall be approved in writing by the Local Planning Authority. The detailed drainage scheme should also accompany a detailed drainage plan appropriately cross-referenced to supporting calculations for the development and they should clearly indicate the location of all proposed drainage elements demonstrating that the surface water generated by this development (For all the rainfall durations starting from 15 min to 10080 min and intensities up to and including the climate change adjusted critical 100 yr storm) can be accommodated and disposed of without discharging onto the highway and without increasing flood risk on or off-site.”

6.7.49 The Council's Flood & Water Management Lead Officer has stated that the drainage proposals are acceptable in principle but has requested further information relating to the detailed surface water drainage scheme and additional drainage calculations.

6.7.50 As such, it is considered that the information submitted partially satisfies the requirements of the condition and can only be discharged in part. The further details with regard to the above will require to be submitted before the condition can be discharged in full.

Condition 72 – (Boundary Walls)

6.7.51 Condition 72 of the outline planning permission states:

“Each reserved matters applications for Phases 2 and 3 shall include section and detailing drawings at 1:20 scale, of a boundary wall to the eastern side of the development site and indicative timescale and programme of works. The wall shall be constructed in accordance with the approved details, unless otherwise agreed in writing by the local planning authority.”

6.7.52 This condition was imposed as it relates to the wall along the northern part of the eastern boundary in Phase 3 as it runs to the rear of the houses. The reference to “Phase 2” was included in the condition because of the corner between Plot J and the Houses, however this is also being submitted in Phase 3 too.

6.7.53 Submitted landscape drawings show (in section) the boundary treatment along that edge – which is a short wall and fence arrangement which provides an acceptable relationship with the adjacent hospital. The associated landscape plans show the planting on the western side of this boundary and further details of this boundary treatment would be required for submission as per Condition 76 three months prior to relevant works.

Condition 73 – (Climate Change Adaption)

6.7.54 Condition 73 of the outline planning permission states:

“Each application for the first reserved matters relating to Appearance, Layout or Scale submitted by phase/block shall be accompanied by annotated plans and details on what measures will be delivered to the external amenity areas that will help adapt the development and its occupants to the impacts of climate change through more frequent and extreme weather events and more prolonged droughts.”

6.7.55 Whilst a request to approve a these details has been submitted with this application, there are outstanding issues that at this time remain to be resolved. Discussions are continuing and once the outstanding matters are resolved officers will deal with this under delegated powers.

6.8 Financial and Other Mitigation

Legal Agreement

6.8.1 A full suite of S106 obligation were secured as part of the hybrid planning permission. The present reserved matters application is also controlled by the S106 agreement, and none would be amended or varied by the current submission. In summary, the obligations are:

- Provision of 60% affordable housing across all phases
- Non-Residential and Meanwhile Uses Plan
- Car Club
- Site-Wide Travel Plan
- Highway Works (Section 278)
- Car Capped Development
- Traffic Management Measures
- Legible London
- St Ann’s Cycle Lane
- Construction Logistics and Management
- Accident Vision Zero
- Employment and Skills
- Connection to a Future District Energy Network (DEN)
- Energy Statement
- Public Open Space Access and Management Plan
- South-West Link Provision
- Residents Liaison Group
- Retention of Architects
- Phasing of CIL Payments
- Other Financial Contributions
- Monitoring

Community Infrastructure Levy (CIL)

6.8.2 As assessed at outline planning application stage, the proposal would attract the following Community Infrastructure Levy contributions to mitigate the impact of the development:

6.8.3 The final CIL value for new development is based on a range of factors including the occupancy rates of the existing buildings on site over the last three years, the final end use of any commercial premises and the application

of 'social housing relief' for any affordable housing. Indexing is also applied over time.

- 6.8.4 For information purposes, based on the information given on the applicant's submitted CIL form, with the application of social housing relief and without any discount being applied for the demolition of buildings which are currently in use, the Mayoral and Haringey CIL charges for the development as part of the reserved matters for Phase 1B and 2 would be as follows:

Phase 1b

Haringey CIL: £53.46 x 6134 = £327,923

Mayoral CIL £64.55 x 6234 = £402,405

TOTAL: £735,674

Phase 2

Haringey CIL: £53.46 x 5065 = £326,946

Mayoral CIL: £64.55 x 5065 = £270,775

TOTAL: £597,721

- 6.8.5 The CIL charge will be collected by Haringey from commencement of the development and could be subject to surcharges for failure to assume liability, for failure to submit a commencement notice and/or for late payment, and subject to indexation in line with the RICS CIL Index. An informative will be attached to the decision notice advising the applicant of this charge.

6.9 Equalities

- 6.9.1 In determining this application, the Council is required to have regard to its obligations under Section 149 of the Equality Act 2010. Under the Act, a public authority must, in the exercise of its functions, have due regard to the need to: eliminate discrimination, harassment and victimisation and any other conduct that is prohibited by or under this Act advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it foster good relations between persons who share a relevant protected characteristic and persons who do not share it.
- 6.9.2 The three parts of the duty apply to the following protected characteristics: age, disability, gender reassignment, pregnancy/maternity, race, religion/fait, sex and sexual orientation. Marriage and civil partnership status applies to the first part of the duty. Members must have regard to these duties in taking a decision on this application. In addition, the Council treats socioeconomic status as a local protected characteristic, although this is not enforced in legislation. Due regard must be had to these duties in the taking a decision on this application.
- 6.9.3 The reserved matters do not generate any new equalities issues compared to the hybrid permission. The hybrid development would provide a range a benefits for the local community including a large number and range of new housing and affordable housing units (including low cost housing, wheelchair accessible housing provision of new construction and end user jobs, the provision of affordable workspace, improved pedestrian and cycle connectivity to public transport connections and local services, re-use of designated and

non-designated heritage assets, public realm improvements and other benefits.

- 6.9.4 To summarise, the overall equalities impact of the proposal would be positive as any limited potential negative impact on people with protected characteristics would be both adequately mitigated by conditions and would be significantly offset by the wider benefits of the development proposal overall. It is therefore considered that the development can be supported from an equalities standpoint.

6.10 Conclusions

- 6.10.1 All other relevant policies and considerations have been taken into account. Reserved matters consent should be granted for the reasons set out above as well as approval of details in relation to Conditions 63 (Reserved Matters Compliance Statement), 65 (Drawing References), 66 (Cycle Provision), 67 (Accessible Housing), 68 (Fire Statement), 69 (Ecological Impact Assessment), 70 (Circular Economy Statement), 71 (Surface Water Drainage Scheme), 72 (Boundary Walls) and 73 (Climate Change Adaptation) (under delegated powers once outstanding issues are resolved) for Phases 1b and 2 of the site of Outline Planning Permission Reference HGY/2022/1833. The details of the decision are set out in the RECOMMENDATION.

7 RECOMMENDATION

GRANT CONSENT subject to conditions and informatives in Appendix 1

Registered No. HGY/2023/3250

Appendix 1

- 1) No development of any building in Phase 1A beyond the superstructure shall commence until all proposed external materials and elevational details for that Block have been submitted to and approved by the Local Planning Authority. These external materials and details shall include:

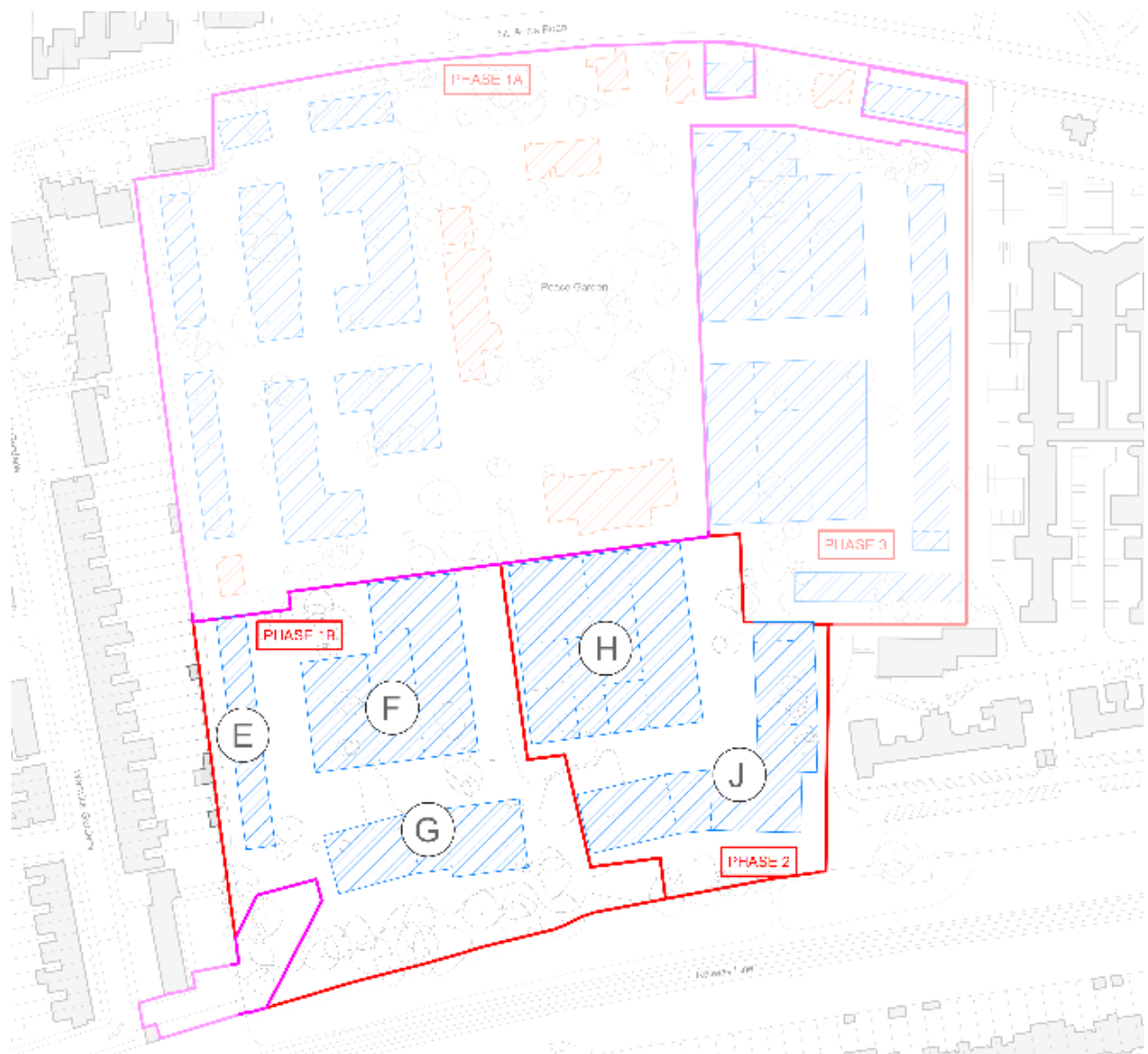
- i) External facing materials and glazing, including sample boards of all cladding materials and finishes;
- ii) Sectional drawings at 1:20 (or other appropriate scale) through all typical external elements/facades, including all openings in external walls including doors and window-type reveals, window heads and window cills;
- iii) Sectional and elevational drawings at 1:20 (or other appropriate scale) of junctions between different external materials, balconies, parapets to roofs, roof terraces and roofs of cores;
- iv) Plans of ground floor entrance cores and entrance-door thresholds at 1:20 (or other appropriate scale) and elevations of entrance doors at 1:20 (or other appropriate scale);

The development shall thereafter be carried out in accordance with the approved details.

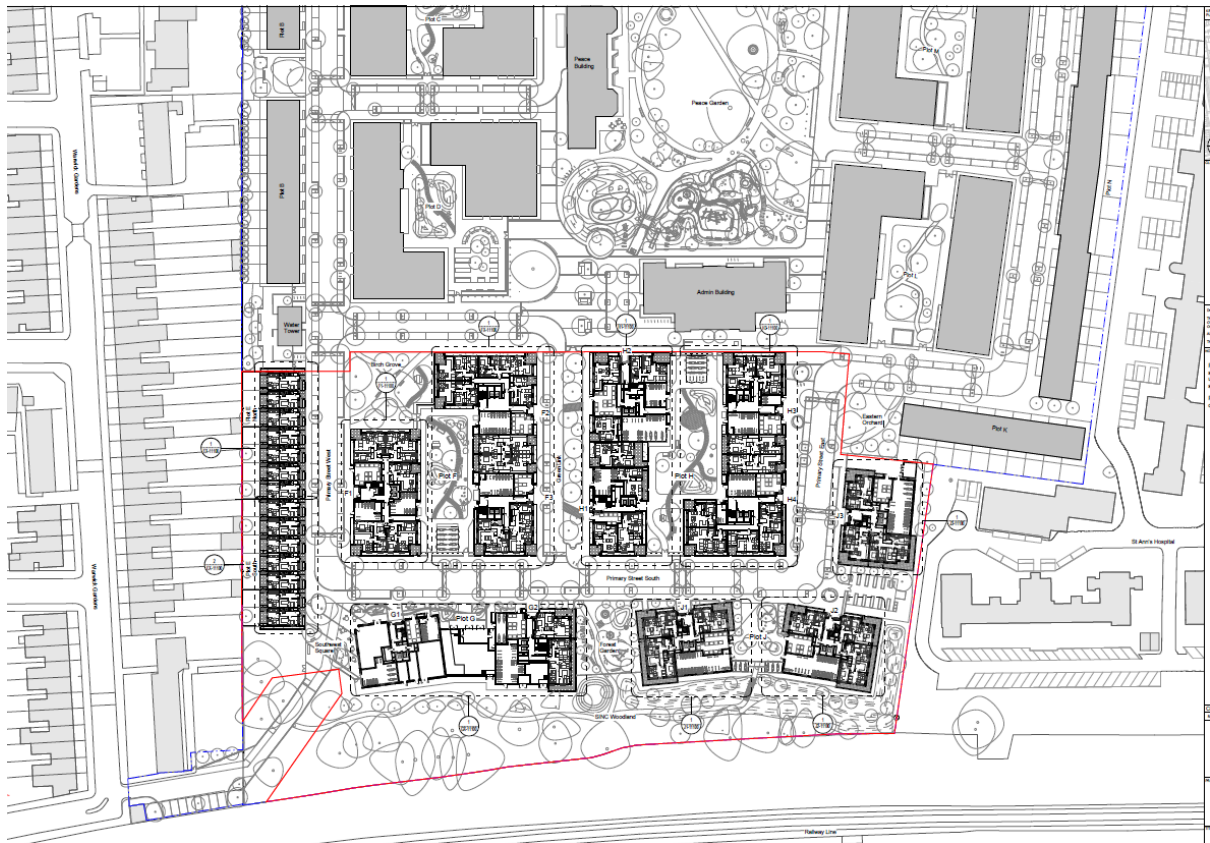
Reason: In the interest of visual amenity.

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Appendix 2– Plans and Images



Phasing Plan



Ground floor plan



Landscape plan



Townhouse elevations



H1 and H2 elevation



G1 elevation



J1 elevation



J3 elevation



Corner retail unit



View south across Peace Garden to block F and H



Ciew south between F and H blocks



Blocks H and F looking south

Haringey Quality Review Panel

Report of Formal Review: St Ann's New Neighbourhood Phases 1b and 2

Wednesday 21 June 2023

Room 5:M1, Clockwise Wood Green, Greenside House, 50 Station Road, London N22 7DE

Panel

Peter Studdert (chair)

Rosie Bard

Gavin Finnan

Andy Puncher

Andrew Tam

Attendees

Robbie McNaugher	London Borough of Haringey
John McRory	London Borough of Haringey
Biplav Pagani	London Borough of Haringey
Richard Truscott	London Borough of Haringey
Kirsty McMullan	Frame Projects
Bonnie Russell	Frame Projects

Apologies / copied to

Suzanne Kimman	London Borough of Haringey
Rob Krzyszowski	London Borough of Haringey
Elizabetta Tonazzi	London Borough of Haringey
Bryce Tudball	London Borough of Haringey

Confidentiality

This is a pre-application review, and therefore confidential. As a public organisation Haringey Council is subject to the Freedom of Information Act (FOI), and in the case of an FOI request may be obliged to release project information submitted for review.

Declaration of interest

Panel member Gavin Finnan's practice Maccleanor Lavington worked on a study of this site prior to appointment of the current project team. Gavin was not involved in this work in any way, and Maccleanor Lavington's work ended in 2016.

CONFIDENTIAL**1. Project name and site address**

St Ann's New Neighbourhood (Phases 1B and 2), St Ann's Road, London N15 3TH

2. Presenting team

Paul Karakusevic	Karakusevic Carson Architects
Suzie Prest	Karakusevic Carson Architects
Rob Reeds	Lambert Smith Hampton
Graeme Sutherland	Adams and Sutherland

3. Planning authority briefing

St Ann's Hospital is a Victorian-era former fever hospital located on St Ann's Road and bordered by Hermitage Road to the east, the residential properties of Warwick Gardens to the west, the Overground train line to the south and Chestnuts Park to the north.

The land is designated as Site Allocation SA28 which identifies the site for residential development, consolidated medical activities and town centre uses. The northern part of the site, not included in this application phase, is located within the St Ann's Conservation Area. The Mayfield House building is locally listed. Other heritage assets are located within a short walk of the site including the Grade II* Listed St Ann's Church. The hospital site is designated as an Area of Change and a Critical Drainage Area. The south of the site includes a Site of Importance for Nature Conservation (SINC), an Ecological Corridor, and is also covered by a woodland Tree Preservation Order.

Hybrid planning permission was granted in 2022 (ref. HGY/2022/1833, resolution to grant subject to S106 signing) for the redevelopment of approximately two-thirds of the hospital site, with the remaining land to the east being retained for medical purposes. This hybrid permission is for 995 homes, plus commercial and community uses, public realm, and new routes into and through the site. The hybrid permission has already permitted the site-wide general development principles including phasing, land use, layout, landscaping, car and cycle parking and affordable housing provision. Several historic buildings on site are to be refurbished for non-residential, employment and community uses. St Ann's New Neighbourhood will be delivered in multiple phases, supported by a site-wide masterplan and design code, and subsequent reserved matters applications, of which this is the first.

This review considers the detailed design of Phases 1B and 2 Reserved Matters, including Plots E to J. It will deliver 464 homes and 100 sqm non-residential uses, as well as provision of the enhanced SINC, the southwest link and one of the pocket parks. There are no retained existing buildings in Phases 1B or 2.

Planning officers consider the proposals to be progressing well, following the principles established by the outline permission, design codes and Phase 1A, which has been approved in detail. Officers would particularly welcome the panel's views on landscaping and ecology, public realm definition, boundary treatments, shared amenity spaces, architectural expression, energy and sustainability.



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4. Quality Review Panel's views

Summary

The panel welcomes the proposals for Phases 1B and 2 of St Ann's New Neighbourhood. The work completed to date builds on the comments of the previous chair's review and the successes of Phase 1A. The percentage of affordable housing is particularly commendable, and, with some improvements, this scheme could raise the bar for sustainable, high-quality, affordable development.

The project team's holistic approach to sustainability is supported. Overheating and embodied carbon mitigation could be pushed further to make the scheme more climate resilient. The landscaping is ambitious, but the panel is reassured by the maintenance strategy. The public realm between Plots J1 and J2 should be widened, and the design less formal, drawing through the character of the Site of Importance for Nature Conservation (SINC). The ecological conservation needs of the SINC should be balanced with the amenity needs of local residents. The cargo bicycle store façades should not present blank frontage to the courtyards. A non-residential use fronting onto the new southwestern link and square is a positive feature, but a café here may not receive adequate footfall. Tenants who create a destination use and provide passive surveillance should be attracted as early as possible, to activate this important corner of the site. The ground floor layouts should be tested to ensure that the privacy of bedrooms is protected while activating the streetscape. The entrance experience of some buildings would be improved by creating direct views through straight internal corridors. Further work is required on the gardens of Plot E to balance the needs of private residential amenity space with the green corridor. The internal layouts of floors with single aspect south-facing flats should be revised. The panel is concerned that overheating and noise from the railway will undermine the liveability of these homes. The panel encourages the project team to develop the architectural expression of Plots G and J. These buildings could have a distinct identity from the rest of the scheme, perhaps through choice of materials. The appearance of southern elevations from the Overground and the screening, or celebration, of plant equipment on the roofs requires careful design.

These comments are expanded below.

Sustainability

- As this scheme is on the scale of an entire neighbourhood, it is an important opportunity to holistically address all aspects of sustainability. The panel commends the project team for its integrated approach to the wider St. Ann's masterplan, which includes consideration of the One Planet Living framework, embodied carbon, circular economy, fabric first principles, renewable energy and tackling fuel poverty.
- The detailed response for Phases 1B and 2 is promising, but could be improved by a focus on climate resilience. For example, with increasing summer temperatures, overheating could be further mitigated through recessed windows and projecting balconies for shading.



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- In terms of embodied carbon, the amount of concrete required could be reduced by careful detailing of efficient structures.

Landscaping

- The landscape design is ambitious, and the panel is pleased to hear that Peabody is taking on the management role that will ensure it is well-maintained in perpetuity.
- The public realm between Plots G2 and J1 successfully bring the SINC to the south through into St. Ann's New Neighbourhood.
- However, the public realm between Plots J1 and J2 creates a bottleneck rather than building on this permeable, green vision for the site. The panel suggests making this space more generous and less formal. Opportunities for play could also be incorporated, informed by the woodland nature of the SINC.
- The project team should consider how the 'ecology walk' through the SINC might be used in ways that create conflict with the ecological conservation needs, for example, by dog walkers. This should be considered to ensure that the needs of wildlife protection and amenity space are balanced.
- The panel supports the idea of fencing around the SINC. This will help it to feel like a special place to visit, separate from the rest of the open landscaping.
- The panel understands that the cargo bicycle stores along one edge of the courtyards for Plots F, H and J will be clad in a metal mesh, and therefore will appear more transparent than on the plans. However, it recommends that they are further integrated into the landscape design, so as not to create a blank frontage on approach to the courtyards.

Non-residential use

- The panel supports the non-residential use incorporated into the scheme to activate the new southwestern link and square.
- However, the panel is not yet convinced that this area will receive adequate footfall to support a café, and it thinks that a café business would be better suited to a location fronting onto the central Peace Garden in Phase 1A.
- A destination use, such as a bicycle repair shop, yoga studio or corner shop could work well, and the panel suggests an open brief for the non-residential use, allowing flexibility for local businesses. This space could also have community uses in the evenings to create passive surveillance around the clock.
- It is important to ensure that the commercial corner unit is occupied early on as this will ensure overlooking and bring life to the new entrance. To attract tenants, the panel recommends reducing fit out costs and subsidising rents.



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Ground floor plan

- The panel is concerned about the privacy of bedrooms located on the ground floor. It understands that the project team has built successful precedents with this layout previously, and therefore asks for further detail on how this works, including the long-term management of any planting used to create a buffer zone.
- Alternative layouts should be tested that would better activate the streets and courtyards. For example, ground floor flats could be accessed directly from the street but still include defensible space, as is common in London's Georgian housing.
- The project team is encouraged to create more generous entrance experiences, particularly for the L-shaped eastern buildings of Plots F and H. If the ground floor cycle storage can be rearranged, the dog-leg internal entrance corridors could be straightened, allowing views all the way through the building.
- The gardens of the terraced houses in Plot E are small and appear to be filled with the retained vegetation along the western edge of the site. While it is positive that the project team aims to keep as much existing planting as possible, the needs of the green corridor should be balanced with the needs of private amenity space and daylight for residents.

Internal layout

- The panel understands the project team's rationale for repeating upper floor plans. However, this has created some single aspect, south-facing flats in Plots G, H and J which are at odds with the liveability of the rest of the scheme.
- The panel is concerned that these residents will experience extreme discomfort from overheating in the summer – particularly those on the floors above the tree line. In addition, the noise from the Overground railway line to the south will make window ventilation unappealing as a method of cooling.
- The internal layouts should be revisited to design these issues out, ensuring that the scheme will meet its aspirations for long-term sustainability.
- It is noted that the upper floor flats on the eastern side of Plot J are very close to the hospital building. This should be examined to ensure that there will be no overlooking or privacy issues.
- Natural daylight should also be designed into internal corridors wherever possible. This will create a stronger relationship with the outside and help people to orientate themselves when navigating inside the buildings.

Architectural expression

- It is logical that Plots E, F and H follow the design of the terraced housing and courtyard typologies developed in Phase 1A, but Plots G and J are a new building



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typology. They are not oriented orthogonally in plan and sit instead as pavilions in the landscape. The panel encourages the project team to develop the architectural expression of Plots G and J further.

- The external appearance of these plots could respond more to the SINC, and have an architectural identity of their own, beyond the design code. One option to create character would be to test alternative materials. This would also help to ensure that the masterplan does not feel overly dominated by brick.
- As the southern elevations will be very visible to everyone passing by on the Gospel Oak to Barking Overground Line, it is important that this view is well considered and does not feel like the back of the scheme.
- The panel encourages the project team to give some attention to the design of the rooftops from key views. The plant equipment located here will need to be either carefully screened or deliberately exposed, especially G2 which contains the largest amounts accommodation. The project team could take inspiration from the retained Victorian water tower in Phase 1A as an example of how architectural expression can celebrate engineering.

Next steps

The Quality Review Panel supports the proposed development and is confident that the applicant team can address these refinements in liaison with the London Borough of Haringey. If officers would consider it helpful, St Ann's New Neighbourhood Phases 1b and 2 could return for a chair's review focusing on sustainability and architectural expression.



CONFIDENTIAL**Appendix: Haringey Development Management DPD****Policy DM1: Delivering high quality design****Haringey Development Charter**

- A All new development and changes of use must achieve a high standard of design and contribute to the distinctive character and amenity of the local area. The Council will support design-led development proposals which meet the following criteria:
- a Relate positively to neighbouring structures, new or old, to create a harmonious whole;
 - b Make a positive contribution to a place, improving the character and quality of an area;
 - c Confidently address feedback from local consultation;
 - d Demonstrate how the quality of the development will be secured when it is built; and
 - e Are inclusive and incorporate sustainable design and construction principles.

Design Standards

Character of development

- B Development proposals should relate positively to their locality, having regard to:
- a Building heights;
 - b Form, scale & massing prevailing around the site;
 - c Urban grain, and the framework of routes and spaces connecting locally and more widely;
 - d Maintaining a sense of enclosure and, where appropriate, following existing building lines;
 - e Rhythm of any neighbouring or local regular plot and building widths;
 - f Active, lively frontages to the public realm; and
 - g Distinctive local architectural styles, detailing and materials.



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Pre-Application Briefing to Committee**1. DETAILS OF THE DEVELOPMENT****Reference No:** PPA/2021/0030**Ward:** Seven Sisters**Address:** Sir Frederick Messer Estate,

Proposal: Erection of 66 new homes within two, six storey blocks providing 100% social rent homes, 10% wheelchair accessible homes, cycle parking, hard and soft landscaping, and all other associated works.

Applicant: Haringey Council**Agent:** LBH Housing**Ownership:** Haringey Council**Case Officer Contact:** Gareth Prosser**2. BACKGROUND**

- 2.1. The proposed development is being reported to Planning Sub-Committee to enable members to view it in good time ahead of a full planning application submission. Any comments made are of a provisional nature only and will not prejudice the final outcome of any formally submitted planning application.
- 2.2. It is anticipated that the planning application, once received, will be presented to a Planning Sub-Committee in autumn 2024. The applicant is currently engaged in pre-application discussions with Haringey Officers.

3. SITE AND SURROUNDINGS

- 3.1 The Sir Frederick Messer Estate is a residential estate located on the southern corner of the junction of St Ann's Road and Seven Sisters Road. It includes several residential buildings, up to 17 storeys in height and is surrounded by a mix of residential and mixed-use buildings, predominantly two to three storeys in height.
- 3.2 The site is not designated as a Site Allocation, however, the site is adjacent to the Seven Sisters Road area of change and the locally listed Woodberry Tavern and is opposite the Seven Sisters Road local centre. It is within a critical drainage area. The adjacent railway line is designated as a Grade II Site of Importance for Nature Conservation (SINC) and is located within an ecological corridor. The St Ann's Conservation Area is a short distance to the northwest of the site and the site has a Public Transport Accessibility Level rating (PTAL) of four to five.
- 3.3 To the north and opposite the site is Kerswell Close on which a mixed use development is currently under construction.



Fig 1: Site location in context

4. PROPOSED DEVELOPMENT

4.1. The proposal consists of:

- The construction of two six (6) storey buildings;
- 66 new homes of which 100% would be for social rent tenure, delivering low-cost housing for Haringey residents;
- with a dwelling mix of 40% 3Bed, 40% 2Bed and 20% 1Bed homes;
- All homes are dual aspect
- The homes will achieve Greater London Authority (GLA) Net Zero carbon targets and Passivhaus standards
- 10% M4(3) wheelchair accessible homes;
- Homes would meet national and GLA spatial standards,
- 125 cycle spaces;
- Car-free development. Additional parking for Blue Badge users only;
- Enhancements to biodiversity
- New play space created for all age groups

5. PLANNING HISTORY

5.1 HGY/2008/2164 Deemed - Regulation 3 Approve with Conditions 16/12/2008 Sir Frederick Messer Estate,, St Anns Road, London, N15 Erection of 2100mm high youth shelter and associated landscape work.

6. CONSULTATION

6.1. **Public Consultation**

This scheme is currently at pre-application stage and therefore no formal consultation has been undertaken at this time. A Development Management Forum will be undertaken prior to any formal submission of a planning application. The developer will under take further public engagement prior to a submission.

6.2. Quality Review Panel

- 6.3. The proposal was presented to Haringey's Quality Review Panel (QRP) on two occasions. The latter was undertaken on May 8th, 2024.
- 6.4. The panel supports the fundamental design of the scheme, including the height, massing and configuration of the buildings and the provision of deck access. However, there are a number of aspects of the detailed design that need to be resolved in order to ensure that the residents will enjoy a high quality of life.
- 6.5. The design of the deck access needs further attention as this will have an impact on the appearance of the building as well as on the quality of movement, privacy and amenity of the residents. Further work is needed to activate the frontage of St Anne's Road and the new courtyard, which could include the relocation of the plant and cycle storage.
- 6.6. The panel supports the design team's ambition for the landscape, but states that the contribution of the existing green space should not be overlooked and every effort should be made to conserve the mature trees on the site and to protect them, along with the landscape form, throughout construction. Further work is needed to maximise the amount of green space at the heart of the development. The Panel states that consideration should also be given to reducing the amount of carbon and improving all aspects of sustainability, to set an exemplar for the decarbonisation and retrofit of the wider estate.
- 6.7. The Quality Review Panel recommends an additional review once the design has progressed, in consultation with planning officers.

(The QRP's full written response from meeting two is included under Appendix II)

6.6 Development Management Forum

The pre-application proposal will be presented at a Development Management Forum prior to the formal submission of a planning application.

7. MATERIAL PLANNING CONSIDERATIONS

- 7.1. Officers initial views on the development proposals are outlined below:

Principle of Development

- 7.2. Policy H2A of the London Plan outlines a clear presumption in favour of development proposals for small sites such as this site (below 0.25 hectares in size). The Policy states that such sites should play a much greater role in housing delivery and boroughs should pro-actively support well-designed new homes on them to significantly increase the contribution of small sites to meeting London's housing needs. It sets out (in table 4.2) a minimum target to deliver 2,600 homes from small sites in Haringey over a 10-year period. It notes that local character evolves over time and will need to change in appropriate locations to accommodate more housing on small sites.

- 7.3. Policy DM12: Housing Design and Quality of the councils Development Management Development Plan Document (referred to as the DM DPD from here on in) states that all new housing and residential extensions must be of a high quality, taking account of the privacy and amenity of neighbouring uses (as set out in Policy DM1 of the DM DPD) and are required to meet or exceed the minimum internal and external space standards of the London Plan and the Mayor's Housing SPG.
- 7.4. Policy DM13: Affordable Housing of the DM DPD outlines how the Council will seek the maximum reasonable amount of affordable housing provision when negotiating on individual private residential and mixed-use schemes with site capacity to accommodate more than 10 dwellings, having regard to Policy SP2 of the Councils Local Plan Strategic Policies (referred to as the Local Plan from here on in) and the achievement of the Borough-wide target of 40% affordable housing provision.
- 7.5. With regard to the existing open space on the site, DM DMP policy DM20 'Open Space and Green Grid' states that development that protects and enhances Haringey's Open Spaces will be supported where it is part of a comprehensive, deliverable scheme and where there would be no net loss of open space, The policy further states that development would be supported where it would achieve enhancements to address identified deficiencies in the capacity, quality and accessibility of open space, and where it would secure a viable future for the open space.
- 7.6. Whilst the site is currently green open space, there is no formal designation on the land, with the area forming an underused and poorly defined green corner of the existing housing estate with little attractions and amenities. The development, whilst reducing the size of the green space, proposes significant enhancement, offering more defined, structured and attractive spaces which will be of significantly greater quality and usable to both existing and future residents. The proposal also strengthens the links between the proposed spaces and existing public realm, representing a more comprehensive approach to open spaces across the estate. Consideration therefore needs to be given to whether the redevelopment of the existing, underutilised and poorly defined space is supported where it incorporates existing assets such as mature trees and planting is acceptable in the overall planning balance.
- 7.7. Given that the site has no specific designated allocation, the residential nature of the Sir Frederick Messer Estate and that 100% of the proposed new homes will be for social rent, the proposal is considered to be in accordance with the above policy context and therefore acceptable in principle.
- 7.8. Officers support the proposed development of the site to provide new homes which will contribute to the Borough's housing stock and the scheme would align with the above mentioned planning policies,

Design and Residential Quality

- 7.9. Policy SP11 of the councils Local Plan requires that all new development should enhance and enrich Haringey's built environment and create places and buildings that are high quality, attractive, sustainable, safe and easy to use.
- 7.10. Policy DM1 of the DM DPD requires development proposals to meet a range of criteria having regard to several considerations including building heights; forms, the scale and massing prevailing around the site; the urban grain; and a sense of enclosure. It requires

all new development to achieve a high standard of design and contribute to the distinctive character and amenity of the local area.

- 7.11. In addition, Policy DM6 of the DM DPD expects all development proposals to include heights of an appropriate scale, responding positively to local context and achieving a high standard of design in accordance with Policy DM1 of the DM DPD. For buildings projecting above the prevailing height of the surrounding area it will be necessary to justify them in urban design terms, including being of a high design quality.
- 7.12. The existing site consists of a poorly defined and unused green space which runs adjacent to Seven Sisters Road. The open nature of the site provides no frontage onto a significant stretch of Seven Sister Road whilst also leaving the Sir Frederick Messer feeling exposed to the surrounding roads with a poorly defined urban form, particularly on the junction with St Ann's Road.
- 7.13. Officers consider the siting, height, massing and scale of the two proposed blocks is acceptable within the site's context and surrounding built form, with a significant number of existing trees being preserved. Although there would be a loss of green space, the proposal would provide a more defined street frontage to both Seven Sister's Road and St Anne's Road, whilst also providing a sense of enclosure to the residential estate behind.
- 7.14. The proposal defines the junction of Seven Sisters and St Ann's Road with a strong corner, enhancing the relationship between the existing site and the streetscene. At a consistent 6 storeys across both blocks, the proposal would provide an appropriate scale between the higher storey structures of the Sir Frederick Messer Estate and the more modest, Victorian townscape along Seven Sisters Road.
- 7.15. The proposal would enhance the established building line and contribute positively to the street frontages along Seven Sisters Road and St Anne's Road.
- 7.16. The proposed landscaping plan retains the most significant trees with negotiations ongoing to retain more trees where possible or to mitigate the loss with replacement trees of additional species both on the site and within the wider estate.
- 7.17. Further discussions around the detailed design, including elevation composition and detailed layouts are ongoing as part of the pre-application discussions. The Applicant continues to refine the landscaping and architecture so to ensure these components of the scheme are well integrated.

Residential Unit Mix and Affordable Housing

- 7.18. The proposal would provide 66 new homes of which 100% of the proposed homes will be 'affordable housing' in the form of social rent, thereby exceeding the minimum GLA/Haringey policy requirements. The unit size mix also provides a high level of larger 2 and 3 bedroom dwellings to address the requirement for family sized accommodation in the borough.
- 7.19. The proposed 66 Social Rent Homes will include as follows:
- 20% one-bedroom homes,
 - 40% two-bedroom homes and
 - 40% three-bedroom (or more) homes.

- 7.20. 10% of homes will be wheelchair accessible as defined under part M4(3) of Building Regulations, with the remaining meeting M4(2) Accessible and adaptable dwellings standards.

Transportation and Parking

- 7.21. The site has a PTAL value of 4/5 - considered to be 'good' to 'very good'. There are multiple bus services accessible along Seven Sisters Road and St. Ann's Road, and Seven Sisters Station is a 9 minute walk away.
- 7.22. The site is also within the Seven Sisters South CPZ, to the western edge of it, which is in operation Monday to Friday between 0800 – 1830. To the west side of Seven Sisters Road there is the Green Lanes 'B' CPZ which has the same operating hours and days, and north of St Ann's Road the Seven Sisters CPZ which has the same hours however also operates on Saturdays.
- 7.23. Seven Sisters Road and parts of St Ann's Road are TLRN/Red Route so TfL are the Highway Authority for these lengths, otherwise Haringey are the Highway Authority for public highway abutting the site. The Parking courts within the estate are managed and enforced/administered by Homes for Haringey.
- 7.24. The proposed pre-application scheme would be a car-free development, except for blue badge parking for the 7 accessible/wheelchair units. 125 cycle parking spaces are also proposed to be located within 2 external cycle stores.
- 7.25. Some minor parking arrangement changes are also proposed within Bushey Road and St Ann's Road. A new foot connection direct to Seven Sisters Road is also proposed.
- 7.26. Policy T5 of the London Plan sets out the relevant cycle parking standards, which are reinforced in Policy DM32 of the DM DPD.
- 7.27. Two cycle stores accommodating 125 cycles are proposed, for each block. The cycle parking provided must meet the numerical requirements of the London Plan, for long stay and short stay/visitor parking. The proposed arrangements should be secure, weatherproof, attractive and easy to use. The layout and design should meet the requirements of the London Cycle Design Standards as produced by TfL.
- 7.28. The locations envisaged for visitor cycle parking will also be required, to demonstrate they will be appropriately located and not impede or clutter any public realm.
- 7.29. Full details will be required at an early stage to demonstrate the system proposed, and the dimensional requirements for access/spacing/headroom.
- 7.30. A 'Healthy streets' Transport Assessment/Statement will need to be submitted as part of any future planning application. The most critical aspects in the transportation sense are enabling improved access for walking and cycling, parking demands and management, potential parking impacts on street, deliveries and servicing, refuse and recycling collections, and the build out of the development. As presented, there are potential impacts relating to all of the above and these need to be considered and mitigation proposed as appropriate.

- 7.31. A detailed draft of the Construction Logistics Plan for the site will be required at application stage, outlining the construction period and programme, and the numbers and types of construction vehicles attending the site. All arrangements to minimise the impact on both the Public Highway and adjacent neighbours will need to be included in this document.

Impacts on Amenity of Surrounding Residents

- 7.32. DM DPD policy DM1 states that developments must ensure a high standard of privacy and amenity for the developments users and neighbours. The policy supports developments that provide appropriate sunlight, daylight and open aspects to all parts of the development and adjacent buildings and land. Developments must avoid overlooking and loss of privacy detrimental to the amenity of neighbouring residents and residents of the development.
- 7.33. The two proposed blocks at 6 storeys are set back from the nearby residences at Outfield House, which at 17 storeys, dwarfs the proposal and the more modest Henrietta House which, under the proposal, would front a new, more clearly defined and usable public greenspace. Given the scale and placement of the proposed blocks and the generous open spaces in between, there are no significant concerns regarding the impact of the proposed units on the neighbouring properties in terms of overshadowing, overlooking or loss of light. In addition, the proposed blocks are set back from both Seven Sisters Road and St Ann's Road, behind a green strip and the existing planting. As such, there is no impact in terms of overshadowing and loss of privacy to the mixed-use properties fronting both these major roads.
- 7.34. A BRE assessment will be provided as part of any formal planning application submission in relation to daylight / sunlight impacts to ensure that the amenity of neighbouring residents with regards to daylight / sunlight and overshadowing is not materially affected. A noise assessment and, if necessary, mitigation measures will also be required.

Sustainability & Trees

- 7.35. In accordance with the London Plan Policy SI2 all major development should be 'zero carbon' by minimising operational emissions and energy demand in accordance with the Mayor of London's energy hierarchy and discussions are ongoing on the overall energy strategy for the development.
- 7.36. A range of sustainability and carbon measures, including Urban Greening proposals will be required and these discussions are ongoing with the Carbon Team.
- 7.37. Demonstrating that the proposal achieves Biodiversity Net Gain will also be required as part of any formal submission of a planning application.
- 7.38. The proposed landscape design seeks to improve pedestrian connections and permeability throughout the site, enhance parking conditions and enrich the quality of the existing species.
- 7.39. Of the 54 existing trees on the site, 15 Grade B and 9+2 Grade C/U (low quality/recommended for removal) are proposed to be removed. 52 new trees would be planted within the site which will include a wider range of native species than is currently

found. 41 further potential tree planting locations within the wider estate have also been identified.

Appendix 1

PLANS AND IMAGES

Site location



Site photos – Existing Greenery along Seven Sister Road



Site looking North towards Railway Line



Proposed Plans

Ground floor plan



Site layout



View North along Seven Sisters Road



View from East along St Ann's Road



View of Courtyard from Bushey Road



Landscape Design



Tree Removal Strategy

TREE Category	A	B	C	U
TOTAL NUMBER OF TREES	0	40	12	2
To be retained	-	23	3	-
To be removed	-	15	9	2
Likely to be removed	-	1	-	-



Elevations – Seven Sisters Road



Elevations – Seven Sisters Road



Elevations – Courtyard



Appendix II – QRP response

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Haringey Quality Review Panel

Report of Formal Review: Sir Frederick Messer development

Wednesday 8 May 2024

AH Level 8 Collaboration Space, Alexandra House, 10 Station Road, London

Panel

Andrew Beharrell (chair)

Phil Askew

Nuno Correia

Louise Goodison

Andy Puncher

Attendees

Robbie McNaugher	London Borough of Haringey
John McRory	London Borough of Haringey
Gareth Prosser	London Borough of Haringey
Richard Truscott	London Borough of Haringey
Cindy Reriti	Frame Projects
Bonnie Russell	Frame Projects

Apologies / copied to

Suzanne Kimman	London Borough of Haringey
Rob Krzyszowski	London Borough of Haringey
Tania Skelli	London Borough of Haringey
Elizabetta Tonazzi	London Borough of Haringey
Bryce Tudball	London Borough of Haringey
Kirsty McMullan	Frame Projects

Confidentiality

This is a pre-application review, and therefore confidential. As a public organisation, Haringey Council is subject to the Freedom of Information Act (FOI), and in the case of an FOI request may be obliged to release project information submitted for review.

CONFIDENTIAL**1. Project name and site address**

Sir Frederick Messer Development, St Ann's Road, N15 6NP

2. Presenting team

Adrian Miles	Avanti Architects
Bettina Lukacs	Oobe Landscape Architecture
Geertje Kreuziger	London Borough of Haringey
Dianne Page	London Borough of Haringey
Kevin Tolhill	London Borough of Haringey
Karen Aymys	Calfordseaden
Jamie Connors	RPS Group

3. Planning authority briefing

The Sir Frederick Messer Estate is a residential estate located on the southern corner of the junction of St Ann's Road and Seven Sisters Road. It includes several residential buildings, up to 17 storeys in height, and is surrounded by a mix of residential and mixed-use buildings, predominantly two to three storeys in height.

The site is adjacent to the Seven Sisters Road area of change and the locally listed Woodberry Tavern, and is opposite the Seven Sisters Road local centre. It is within a critical drainage area. The adjacent railway line is designated as a Grade II site of importance for nature conservation and is an ecological corridor. The St Ann's conservation area is a short distance northwest of the site and the site has a public transport accessibility rating of five.

This review relates to the open area of lawn on the west side of the estate, which is currently undeveloped and underutilised other than as an undulating landscape buffer between Seven Sisters Road and the existing estate buildings.

The proposal is for 66 new homes in two blocks of six storeys in height. One hundred per cent of the homes will be social rent, exceeding the minimum Greater London Authority and Haringey policy requirements. Ten per cent of homes will be wheelchair accessible, with the remaining meeting M4(2) accessible and adaptable dwellings standards.

Officers would welcome the panel's views on the quality of the residential layout, and the relationship with the public realm and landscape. Comments are also sought on wayfinding and the relationship of the proposals to the streets and the junction.



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4. Quality Review Panel's views

Summary

The panel supports the fundamental design of the scheme, including the height, massing and configuration of the buildings and the provision of deck access. However, there are a number of aspects of the detailed design that need to be resolved, to ensure that the residents will enjoy a high quality of life.

The design of the deck access needs further resolution as this will have an impact on the appearance of the buildings as well as on the quality of movement, privacy and amenity of the residents. Further work is needed to activate the frontage of St Anne's Road and the new courtyard, which could include the relocation of the plant and cycle storage. Accurate site and building sections should be provided.

The panel applauds the design team's ambition for the landscape, but the contribution of the existing green space should not be overlooked and every effort should be made to conserve the mature trees on the site and to protect them, along with the landscape form, throughout construction. Further work is needed to maximise the amount of green space at the heart of the development. Consideration should also be given to reducing the amount of carbon and improving all aspects of sustainability, to set an exemplar for the decarbonisation and retrofit of the wider estate.

Architectural expression and materiality

- Careful consideration should be given to the construction of the decks, as the materiality and detailed design will have an impact on the appearance of the buildings. The panel notes that columns or posts supporting the deck are now proposed, but are not yet shown on the drawings. Further detailed drawings, including sections, should be provided.
- It is likely that some residents will use the decks as amenity space and consideration should be given to how that can be accommodated without any adverse impact on movement and escape routes.
- Thought should also be given to how privacy, particularly for bedrooms and living rooms, can be protected through the use of, for example, apertures, screens, or variation in deck width.
- Drawings should also include the materiality and design of guard rails.
- The panel acknowledges the design team's ambition for the new buildings to blend in with the existing estate, but reference could also be made to the adjacent Woodberry Tavern and the Victorian buildings within the Seven Sisters Road local centre opposite.



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Active frontages

- Further work is needed to activate the St Anne's Road frontage and the northeast elevation of the courtyard.
- The panel suggests that one option would be to relocate the plant from the ground floor of the St Anne's Road frontage to the ground floor of the Seven Sisters Road frontage, where the blank façades will be hidden by the mounded landscape and trees, and the raised ground could potentially create a semi-basement arrangement on this side.
- Maisonettes could then be located along the northwest side of the courtyard, with single aspect ground floor facing onto the courtyard and dual aspect first floor accommodation. The panel feels that a small number of single aspect units would be preferable to blank façades facing the courtyard.
- Further testing should be undertaken on the potential to relocate some of the plant, including the water tanks, onto the roofs of the buildings.
- Cycle storage could be relocated into green roofed / earth mounded structures in keeping with the undulating form of the landscape.

Public realm and landscape

- It is essential that measures are put in place for the protection of existing tree roots and canopies, as well as the landscape features, throughout the construction phase of the project.
- The panel supports the appointment of an arboriculturist and an ecologist to the design team. Details of their reports should be provided on the impact of the proposals on existing trees and how they should be protected.
- Further thought should be given to the line of the new pedestrian route, to enable the mature tree on Seven Sisters Road to be retained.
- Further thought should also be given to relocating the new parking provision to avoid the loss of three mature trees and to create a more generous green space. The panel suggests that this might be a good location for the green roofed / earth mounded cycle storage.
- In addition to considering the wellbeing of the existing trees, a succession plan should be provided that takes into account the effect of future climate change and species that are susceptible to pests and disease.
- Details should be provided on the proposed size and species of new trees and plants to be specified.



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- The entrance plaza is an important space that should create a warm sense of arrival for the residents. Additional trees and greening will reduce the amount of paving and help to mitigate wind effects.
- Careful thought should be given to the edges of the development, to protect the privacy of the residents and the green space.
- Consideration should be given to how biodiversity net gain and the Urban Greening Factor targets can be improved, for example through the provision of green roofs. The creation of new habitats should be extended beyond the red line boundary into the wider estate.

Environmental sustainability

- The panel encourages the design team to extend its incorporation of Passivhaus Classic principles to attain Passivhaus Classic certification. The ambition could be extended even further to meet the Low Energy Transformation Initiative targets, which would help to further reduce residents' fuel costs.
- Details should be provided to justify the installation of individual Air Source Heat Pumps in each unit over a centralised system.
- Details should also be provided on the strategy for mitigating overheating.
- A ventilation strategy should be provided, to demonstrate how noise and air pollution will be dealt with, given the site's close proximity to busy roads and the railway line.
- Every effort should be made to reduce the amount of carbon, to set an exemplar for the decarbonisation and retrofit of the wider estate.

Entrance lobby

- A visual connection from the entrance lobby to the stair core would encourage residents to use the stairs and foster opportunities for chance encounters.

Massing

- The panel is unable to comment on whether an additional wing of accommodation should be added to create a 'U-shape' block around the courtyard. Details and drawings of the proposal would need to be provided to allow the panel to comment.



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Next steps

- The Haringey Quality Review Panel would welcome an opportunity to provide further input once the design has progressed, in consultation with planning officers.
- The panel would welcome an opportunity to review and comment on the estate masterplan, including how it could contribute to movement and connectivity into the surrounding neighbourhoods.

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Report for:	Planning Sub Committee Date: 03rd June 2024	Item Number:	
Title:	Update on major proposals		
Report Authorised by:	Robbie McNaugher		
Lead Officer:	John McRory		
Ward(s) affected: All	Report for Key/Non Key Decisions:		

1. Describe the issue under consideration

- 1.1 To advise the Planning Sub Committee of major proposals that are currently in the pipeline. These are divided into those that have recently been approved; those awaiting the issue of the decision notice following a committee resolution; applications that have been submitted and are awaiting determination; and proposals which are the being discussed at the pre-application stage. A list of current appeals is also included.

2. Recommendations

- 2.1 That the report be noted.

3. Background information

- 3.1 As part of the discussions with members in the development of the Planning Protocol it became clear that members wanted be better informed about proposals for major development. Member engagement in the planning process is encouraged and supported by the National Planning Policy Framework 2021 (NPPF). Haringey is proposing through the new protocol to achieve early member engagement at the pre-application stage through formal briefings on major schemes. The aim of the schedule attached to this report is to provide information on major proposals so that



members are better informed and can seek further information regarding the proposed development as necessary.

4. Local Government (Access to Information) Act 1985

- 4.1 Application details are available to view, print and download free of charge via the Haringey Council website: www.haringey.gov.uk. From the homepage follow the links to 'planning' and 'view planning applications' to find the application search facility. Enter the application reference number or site address to retrieve the case details.
- 4.2 The Development Management Support Team can give further advice and can be contacted on 020 8489 5504, 9.00am-5.00pm Monday to Friday.

Site	Description	Timescales/comments	Case Officer	Manager
APPLICATIONS DETERMINED AWAITING 106 TO BE SIGNED				
109 Fortis Green, N2 HGY/2021/2151	Full planning application for the demolition of all existing structures and redevelopment of the site to provide 10 residential units (use class C3) comprising of 6 x residential flats and 4 mews houses and 131m2 flexible commercial space in ground/lower ground floor unit, basement car parking and other associated works.	Members resolved to grant planning permission subject to the signing of legal agreement. Negotiations on legal agreement are ongoing.	Valerie Okeiyi	John McRory
30-36, Clarendon Road N8 HGY/2022/3846	Demolition of the existing buildings and construction of a part two, six, eight and eleven storey building plus basement mixed use development comprising 51 residential units and 560 sqm of commercial floorspace, with access, parking and landscaping	Members resolved to grant planning permission subject to the signing of legal agreement GLA Stage II approval received. Legal agreement to complete shortly.	Valerie Okeiyi	John McRory
The Goods Yard and The Depot 36 & 44-52 White Hart Lane (and land to the rear), and 867-879 High Road, N17 HGY/2022/0563	Full planning application for (i) the demolition of existing buildings and structures, site clearance and the redevelopment of the site for a residential-led, mixed-use development comprising residential units (C3); flexible commercial, business, community, retail and service uses (Class E); hard and soft landscaping; associated parking; and associated works. (ii) Change of use of No. 52 White Hart Lane from residential (C3) to a	Members resolved to grant planning permission subject to the signing of legal agreement. Referred to the Mayor for a Stage 2 decision.	Philip Elliott	John McRory

	flexible retail (Class E) (iii) Change of use of No. 867-869 High Road to residential (C3) use.			
Berol Quarter Berol Yard, Ashley Road, N17 HGY/2023/0261	<u>Berol House</u> Refurbishment of Berol House for a mix of flexible commercial and retail floorspace with additional floors on the roof. Comprising refurbishment of c. 3,800sqm of existing commercial floorspace and addition of c. 2,000sqm new additional accommodation at roof level. Targeting net zero. <u>2 Berol Yard</u> 2 Berol Yard will comprise circa 200 new Build to Rent (BTR) homes with a mix of flexible retail and commercial space at ground floor level. The BTR accommodation will include 35% Discount Market Rent affordable housing. Tallest element 33 storeys. And associated public realm and landscaping within the quarter.	Members resolved to grant planning permission subject to the signing of legal agreement. Negotiations on legal agreement are ongoing.	Phil Elliott	John McRory
Warehouse Living proposal – 341A Seven Sisters Road / Eade Rd N15 HGY/2023/0728	Construction of two new buildings to provide new warehouse living accommodation (Sui Generis (warehouse living)), ground floor café/ workspace (Use Class E) and associated waste collection and cycle parking. Erection of 10 stacked shipping containers (two storeys) to provide workspace/ artist studios (Use Class E), toilet facilities and associated waste collection and cycle parking. Landscape and public realm enhancements including the widening of and works to an existing alleyway	Members resolved to grant at 07 th March Planning Sub-Committee. Negotiations on legal agreement are ongoing.	Phil Elliott	John McRory

	that connects Seven Sisters and Tewkesbury Road, works to Tewkesbury Road, the creation of rain gardens, greening, seating, signage and artworks and all other associated infrastructure works, including the removal of an existing and the provision of a new substation to service the new development.			
APPLICATIONS SUBMITTED TO BE DECIDED				
Tottenham Hotspur Stadium, 748 High Road, Tottenham, N17 HGY/2024/1008	Minor Material Amendment application under Section 73 of the Town and Country Planning Act for the variation to Condition B9 (Major Non-association Football Events) of the hybrid planning permission HGY/2023/2137 (as amended) for amendments to allow up to 30 major non-association football events including music concerts; and other associated changes.	Application submitted and under assessment.	Samuel Uff	John McRory
St Anns General Hospital, St Anns Road, N15 HGY/2023/3250	Reserved matters application (RMA) for Phases 1b and 2 of hybrid application ref. HGY/2022/1833.	Application submitted and under assessment. To be determined by Members of Planning Committee 3 rd June 2024	John Kaimakamis	John McRory
Former Car Wash, Land on the East Side of Broad Lane, N15 HGY/2023/0464	Construction of a new office block, including covered bin and cycle stores.	Application submitted and under assessment.	Sarah Madondo	Tania Skelli

27-31 Garman Road HGY/2023/0894	Erection of two replacement units designed to match the original units following fire damage and demolition of the original units	Application submitted and under assessment.	Sarah Madondo	Tania Skelli
Former Petrol Filling Station 76 Mayes road, N22 HGY/2022/2452	Section 73 Application to vary planning condition 2 (approved drawings/documents) associated with Consent (Planning Ref: HGY/2020/0795) and the updated condition following approval of a NMA (Planning Ref: HGY/2022/2344) to reflect a revised layout that includes 8 additional units, revised unit mix and tenure and reconfiguration of the commercial floorspace.	Application submitted and under assessment.	Valerie Okeiyi	John McRory
Drapers Almshouses, Edmansons Close, Bruce Grove, N17 HGY/2022/4319 & HGY/2022/4320	Planning and listed building consent for the redevelopment of the site consisting of the amalgamation, extension and adaptation of the existing Almshouses to provide family dwellings; and creation of additional buildings on the site to provide of a mix of 1, 2 and 3 bedroom units.	Applications submitted and under assessment.	Gareth Prosser	John McRory
The Grove Lawn Tennis Club, Cascade Avenue, Hornsey, N10 HGY/2023/0733	Redevelopment of site including conversion of existing pavilion into 1.no residential dwelling and erection of 8.no residential dwellings, associated landscaping and cycle storage	Application submitted and under assessment.	Josh Parker	Matthew Gunning
Highgate School, North Road, N6 HGY/2023/0328	1.Dyne House & Island Site	Applications submitted and under assessment.	Samuel Uff	John McRory

HGY/2023/0315 HGY/2023/0338 HGY/2023/0313 HGY/2023/0317 HGY/2023/0316	2. Richards Music Centre (RMC) 3. Mallinson Sport Centre (MSC) 4. Science Block 5. Decant Facility 6. Farfield Playing Fields			
Berol Yard, Ashley Road, N17 HGY/2023/0241	Section 73 application for minor material amendments	Application submitted and under assessment.	Philip Elliott	John McRory
Berol Yard, Ashley Road, N17 HGY/2023/2505	Section 73 application for minor material amendments to the permitted scheme at Berol Yard, Ashley Road, London, N17 9LJ (planning permission ref: HGY/2017/2044). This application seeks to amend Condition 7 (Approved Drawings) and Condition 13 (Land use (Retail)) to allow for the ground floor commercial space and associated mezzanine at 1 Berol Yard (now named The Gessner) to become Use Class E flexible commercial space.	Application submitted and under assessment.	Philip Elliott	John McRory
Warehouse living proposal – Omega Works B, Hermitage Road, Warehouse District, N4 HGY/2022/4310	Demolition with façade retention and erection of buildings of 4 to 9 storeys with part basement to provide redevelopment of the site for a mixed-use scheme comprising employment use (use Class E) and 36 residential units (use class C3). Together with associated landscaping, new courtyard, children's play space, cycle storage, new shared access route, 2x accessible car parking spaces and waste and refuse areas.	Application submitted and under assessment.	Phil Elliott	John McRory

Warehouse living proposal – Omega Works A, Hermitage Road, Warehouse District, N4 HGY/2023/0570	Redevelopment of the site for a mixed-use scheme comprising employment use (use Class E), 8 warehouse living units (sui-generis use class) and 76 residential units (use class C3). Together with associated landscaping, cycle storage, 9x accessible car parking spaces, children's play space and waste and refuse areas.	Application submitted and under assessment.	Phil Elliott	John McRory
Tottenham Hale Station, London Underground Ltd, Station Road, N17 HGY/2023/3078	Section 73 application to vary Conditions 1 and 11 of the approved development (application ref. HGY/2018/1897 which amended the original permission HGY/2013/2610 for changes to the works to extend the operational railway station at Tottenham Hale). The variations are to replace the requirement of providing a new station entrance and footbridge from Hale Village to Tottenham Hale Station, to instead requiring pedestrian and cycle network improvements on Ferry Lane and accessory works.	Application submitted and under assessment.	Nathan Keyte	John McRory
18 West Road & Unit 4 West Mews, Tottenham, N17 HGY/2024/1370	Demolition, clearance and redevelopment of the site with 2 warehouses (Use Class B2/B8) with ancillary mezzanine floorspace and associated landscaping, yard, parking, access and infrastructure.	Application submitted and under assessment.	Sarah Madondo	Tania Skelli
39, Queen Street, London, Tottenham, N17	Redevelopment of Site for industrial and warehousing purposes (within Use Classes E(g)(ii), E(g)(iii), B2 and B8, with ancillary office accommodation together with access, service	Application submitted and under assessment.	Sarah Madondo	Tania Skelli

	yard,car and cycle parking, landscaping, construction of a new substation, boundary treatments and other related works including demolition.			
Tottenham Green Campus (now known as Capital City College Group, Tottenham Centre) N15 HGY/2024/0464	New Construction and Engineering Centre, extending to 3,300 sq. m	Application submitted and under assessment.	John Kaimakamis	John McRory
157-159, Hornsey Park Road, London, N8 HGY/2024/0466	Demolition of existing structures and erection of two buildings to provide residential units and Class E floorspace; and provision of associated landscaping, a new pedestrian route, car and cycle parking, and refuse and recycling facilities.	Application submitted and under assessment.	Valerie Okeiyi	John McRory
Mecca Bingo, 707-725 Lordship Lane, Wood Green, N22 HGY/2024/0450	Demolition of the existing building and redevelopment to provide affordable homes, purpose-built student accommodation, and flexible ground floor commercial (Class E) floorspace within buildings ranging between 3 – 9 storeys, public realm and landscaping works, cycle parking, and associated works.	Application submitted and under assessment.	Valerie Okeiyi	John McRory
807 High Road Tottenham, London, N17 8ER HGY/2024/0692	Full planning application for the demolition of existing buildings and the erection of a replacement building of up four storeys to include purpose-built student accommodation (Sui Generis) and flexible commercial, business	Application submitted and under assessment.	Phil Elliott	John McRory

	and service uses (Class E), hard and soft landscaping, and associated works.			
30-48 Lawrence Road, N15	Partial demolition and refurbishment of existing light industrial building (Class E) and erection of residential building (Class C3), including ground floor workspace (Class E), cycle parking, hard and soft landscaping, and all other associated works	Application recently submitted – to be validated	Gareth Prosser	John McRory
1-6 Crescent Mews, N22 7GG HGY/2023/1620	Revised application for demolition of the existing buildings, retention of slab level, perimeter wall along northern boundary of site, and wall adjacent to Dagmar Road gardens, and redevelopment of the site to provide two 3 storey blocks fronting Crescent Mews, a 1 storey block adjacent to Dagmar Road and a 4 storey building to the rear comprising 30 residential units (Use Class C3), including 4 disabled car parking spaces, associated landscaping and cycle parking within the development and a new paved and landscaped lane at the front of the development with street lighting. Installation of vehicle and pedestrian access gates at entrance to mews and erection of boundary treatment to the rear of the commercial units.	Application Invalid	Eunice Huang	John McRory
26 Lynton Road, N8 HGY/2023/0218	Demolition of existing building and erection of a new part four part five storey building to create a high quality, mixed-use development. The proposed development will comprise 1,200 sqm GIA of commercial floorspace (Class E), and 9 new homes (Class E)	Invalid	Gareth Prosser	John McRory

IN PRE-APPLICATION DISCUSSIONS				
Broad Water Farm, London, N17	Refurbishment works	Pre-application and PPA meetings taking place	John Kaimakamis	John McRory
Plevna Crescent, Haringey, N15	Proposed amendments to existing planning consent reference HGY/2017/2036	PPA agreed with ongoing meetings. Submission of planning application imminent.	Valerie Okeiyi	John McRory
Sir Frederick Messer Estate, South Tottenham, N15 Council Housing led project	Two new blocks of up to 16 storeys including 99 units and new landscaping. Mix of social rent and market.	Initial pre-app meetings and QRP held. Discussions ongoing.	Gareth Prosser	John McRory
Newstead, Denewood Road, Hornsey, N6	Demolition of existing vacant care home buildings, erection 3 x two/three-storey blocks to create 11 family dwellings.	Meeting held and pre-application response issued. PPA meetings ongoing and submission imminent.	Roland Sheldon	John McRory
Former Mary Feilding Care Home, 103-107 North Hill, Highgate N6	Proposed Rehabilitation clinic (3,899.3 sq. m. GEA) and a residential building accommodating 9 flats (1,008.1 sq. m. GEA)"	PPA agreed with ongoing meetings	Valerie Okeiyi	John McRory
25-27 Clarendon Road, N22	Mixed use scheme comprising co-living and commercial development, including demolition of existing buildings.	PPA agreed with ongoing meetings	Valerie Okeiyi	John McRory

13 Bedford Road, N22	Demolition of existing building and the erection of a part five part six storey building to provide 257 sq. m retail space on the ground floor with 18 flats with associated amenity space in the upper floors together with cycle and refuse storage at ground floor level.	PPA agreed with ongoing meetings. Submission imminent	Valerie Okeiyi	John McRory
Timber merchants, 289-295 High Road, Wood Green, N22	Demolition of existing buildings and erection of six storey building and mews building to rear. Commercial units (Use Class E); and erection of 43 flats	Pre-application Meeting held on 20 th October 2023 and subsequent meeting on 23 rd April 2024. Responses issued.	Samuel Uff	John McRory
Reynardson Court, High Road, N17 Council Housing led project	Refurbishment and /or redevelopment of site for residential led scheme – 18 units.	Pre-application discussions taking place	Zara Seelig	Tania Skelli
Arundel Court and Baldewyne Court, Lansdowne Road, N17 Council Housing led project	Redevelopment of land to the front of Arundel Court and Baldewyne Court, along Lansdowne Road including an existing car parking and pram shed area and the erection of 3, 3 storey buildings, (3 at Arundel Court and 2 at Baldewyne Court) to provide 30 new residential units with associated improvements to the surrounding area.	Pre-application discussions taking place	Kwaku Bossman-Gyamera	Tania Skelli
50 Tottenham Lane, Hornsey, N8 Council Housing led project	Council House scheme	Initial pre-app meeting held	Gareth Prosser	Matthew Gunning

1 Farrer Mews, N8	Proposed development to Farrer Mews to replace existing residential, garages & Car workshop into (9 houses & 6 flats).	Discussions ongoing as part of PPA	Benjamin Coffie	John McRory
Lock Keepers Cottages, Ferry Lane, Tottenham, N17	Erection of a part twenty and part twenty-five storey building containing seventy-seven apartments above a café and office following demolition of the existing buildings.	Follow up pre-application being arranged	John Kaimakamis	John McRory
Selby Centre, Selby Road, N17	Replacement community centre, housing including council housing with improved sports facilities and connectivity.	Talks ongoing with Officers and Enfield Council.	Phil Elliott	John McRory
Ashley House and Cannon Factory, Ashley Road, N17	Amendment of tenure mix of buildings to enable market housing to cross subsidise affordable due to funding challenges.	Submission date unknown. Talks ongoing.	Phil Elliott	John McRory
505-511 Archway Road, N6	Council House scheme 16 units	PPA agreed with ongoing meetings	Mark Chan	Matthew Gunning
142-147 Station Road, N22	Demolition of existing buildings on the site and erection of buildings containing 28 one-bedroom modular homes, office, and the re-provision of existing café. Associated hard and soft landscaping works.	Pre-application discussions ongoing	Tania Skelli	John McRory
(Part Site Allocation SA49) Lynton Road, N8	Demolition/Part Demolition of existing commercial buildings and mixed use	Pre-app discussions ongoing.	Gareth Prosser	John McRory

	redevelopment to provide 75 apartments and retained office space.			
139 - 143 Crouch Hill, N8	Demolition of existing Oddbins building and retail and residential parade of nos.141-143 and construction of 5 storey building with 26 flats; 207sqm commercial floorspace; and 11 car park spaces in basement	3 pre-app meetings held. Meeting was held on 20 Feb 2023. A further meeting has been requested but not yet confirmed.	Samuel Uff	John McRory
Parma House Clarendon Road (Off Coburg Road), N22	14 units to the rear of block B that was granted under the Chocolate Factory development (HGY/2017/3020).	Pre-app advice issued.	Valerie Okeiyi	John McRory
36-38 Turnpike Lane, N8	Erection of 9 residential flats and commercial space at ground floor. (Major as over 1000 square metres). (The Demolition of the existing structure and the erection of four-storey building with part commercial/residential on the ground floor and self-contained flats on the upper floors.)	Pre-application report issued.	Tania Skelli	John McRory
679 Green Lanes, N8	Redevelopment of the site to comprise a 9 storey mixed use building with replacement commercial uses at ground floor level (Class E and Sui Generis) and 43 residential (C3) units on the upper floors.	Pre-application meeting was held 18/11/2022 and advice note issued.	Samuel Uff	John McRory
Land to the rear of 7-8 Bruce Grove, N17	Redevelopment of the site to provide new residential accommodation	Pre-app advice note issued.	Valerie Okeiyi	John McRory

Major Application Appeals

None at present

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Wards	Application Type	Planning Application: Planning Application Name	Current Decision	Decision Notice Sent Date	Site Address	Proposal	Officer Name
Alexandra Park	Full planning permission	HGY/2023/2449	Approve with Conditions	01/03/2024	Flat C, 76 Alexandra Park Road, Hornsey, London, N10 2AD	Erection of a flat-roof dormer to the rear, and the raising height of the existing party wall (between No.76 and No.74) and chimney.	Eunice Huang
Alexandra Park	Householder planning permission	HGY/2023/2615	Approve with Conditions	18/04/2024	26 Thirlmere Road, Hornsey, London, N10 2DN	Roof extension back addition roof (AMENDED PLANS).	Josh Parker
Alexandra Park	Householder planning permission	HGY/2023/3296	Approve with Conditions	20/03/2024	69 Grove Avenue, Hornsey, London, N10 2AL	Replacement single storey rear extension with roof glazing, basement, replacement rear facing dormer.	Ben Coffie
Alexandra Park	Householder planning permission	HGY/2023/3317	Approve with Conditions	15/05/2024	Nos. 25 and 27 Albert Road, Wood Green, London, N22 7AA	Installation of two new separate metal stairs at 25 & 27 Albert Road, including extension of the balcony at No. 25.	Sabelle Adjagboni
Alexandra Park	Householder planning permission	HGY/2023/3369	Approve with Conditions	08/03/2024	127 Dukes Avenue, Hornsey, London, N10 2QD	Single story ground floor side extension to rear of property	Josh Parker
Alexandra Park	Listed building consent (Alt/Ext)	HGY/2024/0039	Approve with Conditions	08/03/2024	Alexandra Palace, Alexandra Palace Way, Wood Green, London, N22 7AY	Listed building consent for the installation of new, permanent directional signage (East Court, Ice Rink, back of house spaces and the Phoenix Bar and Kitchen) and external redecorations to the western end of the building (Palm Court and Phoenix Bar and Kitchen) to enhance the appearance of the listed building and improve the overall visitor experience.	Zara Seelig
Alexandra Park	Householder planning permission	HGY/2024/0046	Approve with Conditions	01/03/2024	39 Grosvenor Road, Hornsey, London, N10 2DR	Single storey rear extension and other alterations including replacement windows to rear at first floor.	Ben Coffie
Alexandra Park	Householder planning permission	HGY/2024/0183	Approve with Conditions	10/04/2024	22 Thirlmere Road, Hornsey, London, N10 2DN	L-shaped rear roof extension with 3no. conservation style roof lights to the front elevation	Zara Seelig
Alexandra Park	Householder planning permission	HGY/2024/0239	Approve with Conditions	07/03/2024	Flat B, 298 Alexandra Park Road, Wood Green, London, N22 7BD	Proposed extension to rear of existing basement area with associated lightwell, extension of existing single storey rear extension.	Roland Sheldon
Alexandra Park	Householder planning permission	HGY/2024/0298	Approve with Conditions	04/04/2024	15 Princes Avenue, Wood Green, London, N22 7SB	New build single storey ground floor extension. Replace existing concrete tiles to roof with slates, three new roof lights and ridge height raised. A full width rear dormer extension to the main roof and outrigger. Replace pebbledash extension with brick slips to match original brickwork and coping stone parapet added. New double door is to be introduced to the existing ground floor extension facing the garden (Amended).	Josh Parker
Alexandra Park	Householder planning permission	HGY/2024/0456	Approve with Conditions	08/04/2024	4 Grasmere Road, Hornsey, London, N10 2DJ	Erection of rear dormer roof extension to main roof and outrigger. Insertion of 3no. conservation type rooflights on front roof slope.	Daniel Boama
Alexandra Park	Full planning permission	HGY/2024/0610	Approve with Conditions	01/05/2024	Muswell Hill Golf Club, Rhodes Avenue, Wood Green, London, N22 7UT	New water tank to replace existing, canopy for golf buggies, extension of existing patio	Emily Whittredge

Alexandra Park	Householder planning permission	HGY/2024/0612	Approve with Conditions	30/04/2024	68 Albert Road, Wood Green, London, N22 7AH	Installation of door to rear elevation and erection of external staircase, to provide access to first floor flat's rear garden; & Installation of two no. rooflights to outrigger roof slope	Mercy Oruwari
Alexandra Park	Householder planning permission	HGY/2024/0679	Approve with Conditions	14/05/2024	21 Thirlmere Road, Hornsey, London, N10 2DL	Proposed rear dormer roof extension to the main roof, and the erection of a single storey lean-to side extension. Proposed velux roof light to front roof slope and change of ground floor rear window to a door.	Ben Coffie
Alexandra Park	Lawful development: Proposed use	HGY/2024/0816	Permitted Development	17/05/2024	18 Clyde Road, Wood Green, London, N22 7AE	Certificate of Lawfulness for the proposed formation of an L-shaped rear dormer roof extension and installation of front rooflights.	Oskar Gregersen
Alexandra Park	Householder planning permission	HGY/2024/0817	Approve with Conditions	17/05/2024	18 Clyde Road, Wood Green, London, N22 7AE	Erection of a single-storey side infill extension	Oskar Gregersen
Alexandra Park	Householder planning permission	HGY/2024/0824	Approve with Conditions	15/05/2024	19 Cranbourne Road, Hornsey, London, N10 2BT	Proposed single storey rear extension.	Nathan Keyte
Alexandra Park	Lawful development: Proposed use	HGY/2024/0836	Permitted Development	15/04/2024	22 Winton Avenue, Wood Green, London, N11 2AT	Certificate of Lawful Development (Proposed) for a hip to gable roof extension with dormer extension to rear, insertion of 3x front rooflights, removal of chimney	Iliyan Topalov
Alexandra Park	Lawful development: Proposed use	HGY/2024/0955	Permitted Development	25/04/2024	44 Outram Road, Wood Green, London, N22 7AF	Certificate of Lawful Development (Proposed) for the erection of a rear dormer extension, insertion of 2x front facing rooflights, alteration to the rear ground floor fenestration, removal of small chimney on the rear between No. 44 and No. 42	Iliyan Topalov
Alexandra Park	Prior approval Part 1 Class A.1(ea): Larger home extension	HGY/2024/0491	Not Required	08/04/2024	61 Outram Road, Wood Green, London, N22 7AB	Erection of single storey extension which extends beyond the rear wall of the original house by 4.6m, for which the maximum height would be 3.78m and for which the height of the eaves would be 2.95m	Neil McClellan
Alexandra Park	Prior approval Part 1 Class A.1(ea): Larger home extension	HGY/2024/0660	Not Required	22/04/2024	326 Alexandra Park Road, Wood Green, London, N22 7BD	Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 3.25m and for which the height of the eaves would be 3m	Oskar Gregersen
Alexandra Park	Prior approval Part 1 Class A.1(ea): Larger home extension	HGY/2024/0895	Not Required	09/05/2024	22 Winton Avenue, Wood Green, London, N11 2AT	Erection of single storey extension which extends beyond the rear wall of the original house by 5.77m, for which the maximum height would be 3.7m and for which the height of the eaves would be 2.8m.	Sabelle Adjagboni

Alexandra Park	Consent under Tree Preservation Orders	HGY/2023/2673	Approve with Conditions	29/02/2024	2 Parham Way, Hornsey, London, N10 2AT	Works to trees protected by a TPO: T1 Acacia reduce crown by 1/4 approximately 2M G1 4 Limes re-pollard approximately 1.5M G2 4 Limes reduce to a pollard approximately 5M (Works to T2 Sycamore will be considered separately under application reference HGY/2023/2678, as the tree is within a Conservation Area but is not protected by a TPO)	Daniel Monk
Alexandra Park	Approval of details reserved by a condition	HGY/2024/0297	Approve	28/03/2024	Fiftyfour And A Half, Grove Avenue, Hornsey, London, N10 2AN	Approval of details pursuant to conditions 4 (tree protection) attached to planning permission HGY/2023/1502.	Eunice Huang
Alexandra Park	Consent under Tree Preservation Orders	HGY/2024/0616	Approve with Conditions	15/05/2024	40 Lansdowne Road, Hornsey, London, N10 2AU	Works to tree protected by a TPO. T1: Robinia (10m): Crown reduce by 2m to keep tree at a size suitable due to its close proximity to buildings	Daniel Monk
Alexandra Park	Approval of details reserved by a condition	HGY/2024/0647	Approve	02/05/2024	11 Clifton Road, Wood Green, London, N22 7XN	Approval of details pursuant to conditions 3 (Privacy Screen), attached to planning permission HGY/2022/2256 granted on 12/10/2022 for the installation of a 1.8 m high by 90cm wide privacy screen.	Ben Coffie
Bounds Green	Full planning permission	HGY/2023/2360	Approve with Conditions	21/03/2024	Block F (F1,F2,F3), Bounds Green Industrial Estate, London, N11 2UL	Demolition of existing industrial building and erection of replacement industrial building with associated hard and soft landscaping works.	Josh Parker
Bounds Green	Full planning permission	HGY/2023/3009	Approve with Conditions	27/03/2024	Daisy Court, 6 Brownlow Road, Wood Green, London, N11 2DE	Roof extension to create two new dwellings and associated works.	Nathan Keyte
Bounds Green	Full planning permission	HGY/2024/0044	Approve with Conditions	30/04/2024	Flat 1, Picking Court, 10 Gordon Road, Wood Green, London, N11 2PN	Rear dormer with rooflights on front slope	Eunice Huang
Bounds Green	Householder planning permission	HGY/2024/0139	Approve with Conditions	18/03/2024	4 Manor Road, Wood Green, London, N22 8YJ	Proposed ground floor rear extension.	Josh Parker
Bounds Green	Householder planning permission	HGY/2024/0280	Approve with Conditions	09/04/2024	63 Woodfield Way, Wood Green, London, N11 2NR	Single-storey side extension	Nathan Keyte
Bounds Green	Full planning permission	HGY/2024/0294	Approve with Conditions	11/04/2024	107A Bounds Green Road, Wood Green, London, N22 8DF	Demolition of the existing conservatory and construction of a rear ground floor single storey extension.	Eunice Huang
Bounds Green	Lawful development: Existing use	HGY/2024/0514	Approve	23/04/2024	22 Palace Road, Wood Green, London, N11 2PS	Certificate of lawfulness for existing use of the property as offices in connection with a wholesale medical supplies and distribution centre (Use Class E).	Eunice Huang
Bounds Green	Lawful development: Proposed use	HGY/2024/0542	Permitted Development	14/05/2024	89 Whittington Road, Wood Green, London, N22 8YR	Certificate of Lawfulness for proposed use for the erection of rear dormer window and 3no. rooflights to front elevation roof slope.	Daniel Boama
Bounds Green	Householder planning permission	HGY/2024/0543	Approve with Conditions	14/05/2024	89 Whittington Road, Wood Green, London, N22 8YR	Erection of a single storey ground floor rear extension.	Daniel Boama
Bounds Green	Lawful development: Proposed use	HGY/2024/0592	Permitted Development	15/03/2024	5 Cornwall Avenue, Wood Green, London, N22 7DA	Certificate of Lawful Development (Proposed) for the erection of a rear dormer and the insertion of two front rooflights	Iliyan Topalov

Bounds Green	Prior approval Part 1 Class A.1(ea): Larger home extension	HGY/2024/0270	Approve	14/03/2024	49 Park Road, Wood Green, London, N11 2QE	Erection of single storey extension which extends beyond the rear wall of the original house by 4m, for which the maximum height would be 3.3m and for which the height of the eaves would be 3m	Oskar Gregersen
Bounds Green	Prior notification: Development by telecoms operators	HGY/2024/1099	Permitted Development	19/04/2024	Newbury House, Partridge Way, Wood Green, London, N22 8DX	Formal notification in writing of 28 days notice in advance, in accordance with Regulation 5 of the Electronic Communications Code (Conditions and Restrictions) Regulations 2003 (as amended). Description of Development: ? The proposed development comprises of the installation of 6no. antennas, 1no. 300mm dish and 1no. 600mm dish, 2no. cabinets (at roof level) and ancillary works thereto.	Kwaku Bossman-Gyamera
Bounds Green	Approval of details reserved by a condition	HGY/2023/0310	Approve	19/04/2024	26-28, Brownlow Road, London, N11 2DE	Approval of details pursuant to Condition 15 (a) (weather modelling) of planning permission reference: HGY/2020/1615.	Josh Parker
Bounds Green	Approval of details reserved by a condition	HGY/2023/2787	Approve	28/02/2024	Garages, Partridge Way, Wood Green, London	Approval of details pursuant to condition 28 (facing materials) attached to planning permission HGY/2021/2075 granted on 21/03/2022 for the Redevelopment of the site comprising the demolition of existing garages and the erection of a nine-storey building to accommodate 23 residential units for council rent (Class C3). Associated cycle and refuse/recycling storage facilities, accessible car-parking spaces, and landscaping and public realm improvements including a children's play space. Relocation of existing refuse/recycling facility.	Ben Coffie
Bounds Green	Non-Material Amendment	HGY/2024/0231	Approve	12/04/2024	Ground Floor Flat, 83 Whittington Road, Wood Green, London, N22 8YR	Non-Material Amendment to planning application HGY/2023/0239 to incorporate additional alterations to a property including the demolition of an existing extension, the removal of an existing kitchen side window, the insertion of a new window on the rear elevation, the repositioning of the existing kitchen door and the repositioning of an existing bathroom window.	Sabelle Adjagboni
Bruce Castle	Full planning permission	HGY/2022/2062	Approve with Conditions	13/03/2024	771, High Road, London, N17 8AH	Replacement of existing of extraction/ventilation system with duct to the rear.	Oskar Gregersen

Bruce Castle	Full planning permission	HGY/2023/2306	Approve with Conditions	04/03/2024	819-829 High Road, Tottenham, London, N17 8ER	Full planning application for the demolition of existing buildings and structures to the rear of 819-829 High Road; the demolition of 829 High Road; and redevelopment for purpose-built student accommodation (Sui Generis) and supporting flexible commercial, business and service uses (Class E), hard and soft landscaping, parking, and associated works. To include the change of use of 819-827 High Road to student accommodation (Sui Generis) and commercial, business and service (Class E) uses.	Philip Elliott
Bruce Castle	Listed building consent (Alt/Ext)	HGY/2023/2307	Approve with Conditions	04/03/2024	819-829 High Road, Tottenham, London, N17 8ER	Listed Building Consent for internal and external alterations to 819/821 High Road (Grade II), including reinstatement of hipped roof, demolition works to the rear, façade and related external works, internal alterations and associated works.	Philip Elliott
Bruce Castle	Consent to display an advertisement	HGY/2023/2541	Refuse	25/03/2024	515-519 High Road, Tottenham, London, N17 6SB	Installation of back-lit fascia signage onto the front and side elevations at ground floor level.	Kwaku Bossman-Gyamera
Bruce Castle	Householder planning permission	HGY/2023/2590	Approve with Conditions	22/03/2024	115 Pembury Road, Tottenham, London, N17 8LY	Erection of part single storey and part first floor rear extension. Lowering of existing lower ground floor (basement). Provision of front and rear lightwells. Formation of Front dormer and enlargement of rear dormer. Installation of three side roof lights. Conversion of existing three flats into four self-contained dwellings.	Mercy Oruwari
Bruce Castle	Householder planning permission	HGY/2023/3093	Refuse	01/03/2024	42 Cavell Road, Tottenham, London, N17 7BJ	Formation of a vehicle crossover to facilitate parking on site.	Oskar Gregersen
Bruce Castle	Consent to display an advertisement	HGY/2023/3156	Refuse	10/04/2024	Advertising Right, 88 Bruce Grove, Tottenham, London, N17 6UZ	Retention of existing advertising hoarding	Sabelle Adjagboni
Bruce Castle	Consent to display an advertisement	HGY/2023/3207	Approve with Conditions	28/02/2024	The Elmhurst Pub, 129 Lordship Lane, Tottenham, London, N17 6XE	Consent to display an advertisement with replacement illuminated fascia sign and projection sign.	Daniel Boama
Bruce Castle	Listed building consent (Alt/Ext)	HGY/2023/3261	Approve with Conditions	28/02/2024	Bruce Castle Park, Haringey Museum & Archive Service, Lordship Lane, Tottenham, London, N17 8NU	Reservicing and internal improvement works for Bruce Castle Museum.	Zara Seelig
Bruce Castle	Full planning permission	HGY/2023/3356	Approve with Conditions	20/03/2024	Flat A, 78 Lordsmead Road, Tottenham, London, N17 6EY	Demolition of existing structure with the creation of a single storey wraparound extension, 6x new skylights and the erection of an outbuilding to rear of garden.	Josh Parker
Bruce Castle	Lawful development: Existing use	HGY/2024/0016	Approve	28/02/2024	165 Mount Pleasant Road, Tottenham, London, N17 6JH	Certificate of Lawfulness for the existing use of the property as 4 self-contained flats	Sabelle Adjagboni

Bruce Castle	Full planning permission	HGY/2024/0204	Refuse	16/04/2024	851-853 High Road, Tottenham, London, N17 8EY	Change of use of ground floor shop premises 851 and 853 High Road to two single bedroom dwellings with rebuilding and enlargement of ground floor rear extensions and replacement of existing shopfronts. Refurbishment of two existing upper floor dwellings including new dormer extension in rear roof pitch at attic level and replacement of all windows.	Oskar Gregersen
Bruce Castle	Householder planning permission	HGY/2024/0316	Approve with Conditions	03/04/2024	104 Church Road, Tottenham, London, N17 8AJ	Erection of single storey side and rear extension	Sabelle Adjagboni
Bruce Castle	Householder planning permission	HGY/2024/0318	Approve with Conditions	03/04/2024	162 Church Road, Tottenham, London, N17 8AS	Erection of a single-storey outbuilding in the rear garden ancillary to the house	Oskar Gregersen
Bruce Castle	Lawful development: Proposed use	HGY/2024/0380	Permitted Development	26/03/2024	31 Newlyn Road, Tottenham, London, N17 6RX	Certificate of Lawfulness: Single storey rear extension.	Gareth Prosser
Bruce Castle	Householder planning permission	HGY/2024/0387	Approve with Conditions	12/04/2024	2 Linley Road, Tottenham, London, N17 6RP	Proposed installation of a bicycle storage unit within front garden. ?Protect-a-Cycle? model manufactured by Trimetals. Works involving construction of level concrete base onto which new storage unit would be bolted. Removal of existing paving stones, replacement with permeable gravel bed, made up of grey slate chippings. A strip of block paving at one side of the area to act as a path from the gate to the front door would be retained.	Zara Seelig
Bruce Castle	Householder planning permission	HGY/2024/0459	Approve with Conditions	19/04/2024	15 Jellicoe Road, Tottenham, London, N17 7BL	Proposals include for the installation of External Wall Insulation (EWI) enhancing both tenant comfort and thermal efficiency in line with Building Regulations Approved Document L, as well as protecting and improving the general condition of the building?s fabric.	Sarah Madondo
Bruce Castle	Householder planning permission	HGY/2024/0504	Approve with Conditions	10/05/2024	Flat C, 17 Whitley Road, Tottenham, London, N17 6RJ	Erection of a single storey rear extension (retrospective application).	Daniel Boama
Bruce Castle	Lawful development: Existing use	HGY/2024/0532	Approve	24/04/2024	6 Whitley Road, Tottenham, London, N17 6RJ	Lawful development certificate for existing use of premises as 8 self-contained studio units.	Roland Sheldon
Bruce Castle	Full planning permission	HGY/2024/0557	Approve with Conditions	26/04/2024	Flat A, 46 Great Cambridge Road, Tottenham, London, N17 7BU	Retention of an outbuilding (retrospective)	Kwaku Bossman-Gyamera
Bruce Castle	Full planning permission	HGY/2024/0633	Approve with Conditions	01/05/2024	183A Lordship Lane, Tottenham, London, N17 6XF	Alteration to the fenestration of the ground floor flat, repositioning of the front door and insertion of a new window.	Iliyan Topalov
Bruce Castle	Lawful development: Proposed use	HGY/2024/0694	Permitted Development	07/05/2024	55 Creighton Road, Tottenham, London, N17 8JU	Certificate of lawfulness for the proposed erection of a rear dormer including the insertion of 3x front rooflights.	Mercy Oruwari
Bruce Castle	Householder planning permission	HGY/2024/0750	Approve with Conditions	13/05/2024	29 Creighton Road, Tottenham, London, N17 8JU	Erection of an outbuilding/garage, and front porch extension with double glazed uPVC door and windows.	Daniel Boama

Bruce Castle	Lawful development: Proposed use	HGY/2024/0814	Permitted Development	25/04/2024	32 Barkham Road, Tottenham, London, N17 8JR	Certificate of Lawful Development (Proposed) for the erection of a front porch, alteration to the rear fenestration, removal of chimney, and new boundary fence	Iliyan Topalov
Bruce Castle	Full planning permission	HGY/2024/0819	Approve with Conditions	15/05/2024	Flat B, 267 Mount Pleasant Road, Tottenham, London, N17 6HD	Proposed dormer extensions to the property's main roof and rear outrigger.	Kwaku Bossman-Gyamera
Bruce Castle	Prior approval Part 3 Class M: Retail or betting office or pay day loan shop to dwellinghouses	HGY/2024/0114	Approve with Conditions	12/03/2024	Shop A, 80 White Hart Lane, Tottenham, London, N17 8HP	Application to determine if prior approval is required for a proposed change of use of the existing launderette (Sui Generis Use) to a one-bedroom flat (Class C3). Application under the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) - Schedule 2, Part 3, Class M.	Oskar Gregersen
Bruce Castle	Prior approval Part 1 Class A.1(ea): Larger home extension	HGY/2024/0751	Not Required	29/04/2024	29 Creighton Road, Tottenham, London, N17 8JU	Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 3m and for which the height of the eaves would be 3m	Daniel Boama
Bruce Castle	Approval of details reserved by a condition	HGY/2022/4123	Not Determined	22/04/2024	807 High Road, Tottenham, London, N17 8ER	Approval of details pursuant to Conditions 30, 31, and 33 (Construction Logistics Plan (CLP), Demolition/Construction Environmental Management Plans (D/CEMP), & Business and Community Liaison respectively) attached to planning permission HGY/2021/0441	Philip Elliott
Bruce Castle	Approval of details reserved by a condition	HGY/2022/4125	Not Determined	22/04/2024	807 High Road, Tottenham, London, N17 8ER	Approval of details pursuant to parts (a) and (b) of Condition 6 (Block A ? Noise Attenuation 1) attached to planning permission HGY/2021/0441	Philip Elliott
Bruce Castle	Approval of details reserved by a condition	HGY/2022/4127	Not Determined	22/04/2024	807 High Road, Tottenham, London, N17 8ER	Approval of details pursuant to parts (a) of Conditions 18 (Energy & Sustainability Statement) and 19 (Overheating) attached to planning permission HGY/2021/0441	Philip Elliott
Bruce Castle	Approval of details reserved by a condition	HGY/2022/4182	Not Determined	22/04/2024	807 High Road, Tottenham, London, N17 8ER	Approval of details pursuant to parts (a) of Conditions 24 (Archaeology 1) and 25 (Archaeology 2) attached to planning permission HGY/2021/0441	Philip Elliott
Bruce Castle	Approval of details reserved by a condition	HGY/2023/3292	Approve	17/05/2024	60 Beaufoy Road, London N17 8BU	Approval of details pursuant to condition 5 (Method of Construction Statement) attached to planning permission HGY/2022/1093	Neil McClellan
Bruce Castle	Approval of details reserved by a condition	HGY/2023/3293	Approve	17/05/2024	60 Beaufoy Road, London N17 8BU	Approval of details pursuant to condition 6 (hard and soft landscape works, including sustainable drainage and measures to enhance biodiversity) attached to planning permission HGY/2022/1093	Neil McClellan

Bruce Castle	Approval of details reserved by a condition	HGY/2023/3294	Approve	17/05/2024	60 Beaufoy Road, London N17 8BU	Approval of details pursuant to condition 7 (details of all enclosures) attached to planning permission HGY/2022/1093	Neil McClellan
Bruce Castle	Approval of details reserved by a condition	HGY/2023/3295	Approve	29/04/2024	60 Beaufoy Road, London N17 8BU	Approval of details pursuant to condition 12 (location of water butt) attached to planning permission HGY/2022/1093	Neil McClellan
Bruce Castle	Approval of details reserved by a condition	HGY/2024/0265	Approve	15/03/2024	313 The Roundway, Tottenham, London, N17 7AB	Approval of details pursuant to Condition 17 (Air Quality Assessment) attached to Planning Permission Ref: HGY/2022/0967 dated 15 September 2023.	John Kaimakamis
Bruce Castle	Approval of details reserved by a condition	HGY/2024/0327	Approve	27/03/2024	313 The Roundway, Tottenham, London, N17 7AB	Approval of details pursuant to Condition 19 (Scheme of Digital Connectivity Infrastructure) attached to Planning Permission Ref: HGY/2022/0967 dated 15 September 2023.	John Kaimakamis
Bruce Castle	Approval of details reserved by a condition	HGY/2024/0649	Approve	03/05/2024	819-829, High Road, London, N17 8ES	Approval of details reserved by Condition 4 (Photographic survey) attached to 'The Printworks' 819-829 High Road N17 Planning Permission ref. HGY/2023/2306 dated 04th March 2024 for PBSA and Class E.	Philip Elliott
Bruce Castle	Approval of details reserved by a condition	HGY/2024/0651	Approve	03/05/2024	819-829, High Road, London, N17 8ES	Approval of details reserved by Condition 46 (Business and Community Liaison Construction Group) attached to 'The Printworks' 819-829 High Road N17 Planning Permission ref. HGY/2023/2306 dated 04th March 2024 for PBSA and Class E.	Philip Elliott
Bruce Castle	Approval of details reserved by a condition	HGY/2024/0652	Approve	02/05/2024	819-829, High Road, London, N17 8ES	Approval of details reserved by Condition 48 (Evidence of operational public hydrants/suitable alternatives) attached to 'The Printworks' 819-829 High Road N17 Planning Permission ref. HGY/2023/2306 dated 04th March 2024 for PBSA and Class E.	Philip Elliott
Bruce Castle	Approval of details reserved by a condition	HGY/2024/0755	Approve	13/05/2024	819-829, High Road, London, N17 8ES	Approval of details reserved by Condition 42 (Air Quality and Dust Management Plan) attached to 'The Printworks' 819-829 High Road N17 Planning Permission ref. HGY/2023/2306 dated 04th March 2024 for PBSA and Class E.	Philip Elliott
Bruce Castle	Approval of details reserved by a condition	HGY/2024/0753	Approve	13/05/2024	819-829, High Road, London, N17 8ES	Approval of details reserved by Condition 29 (Archaeological Investigation WSI) attached to 'The Printworks' 819-829 High Road N17 Planning Permission ref. HGY/2023/2306 dated 04th March 2024 for PBSA and Class E.	Philip Elliott

Bruce Castle	Approval of details reserved by a condition	HGY/2024/0754	Approve	13/05/2024	819-829, High Road, London, N17 8ES	Approval of details reserved by Condition 41 (Demolition and Construction Environmental Management Plan) attached to 'The Printworks' 819-829 High Road N17 Planning Permission ref. HGY/2023/2306 dated 04th March 2024 for PBSA and Class E.	Philip Elliott
Bruce Castle; Noel Park	Approval of details reserved by a condition	HGY/2023/3266	Approve	17/05/2024	60, Beaufoy Road, London, N17 8BU	Approval of details pursuant to condition 3 (design and materials) attached to planning permission HGY/2022/1093.	Neil McClellan
Bruce Grove	Approval of details reserved by a condition	HGY/2022/3717	Approve	04/03/2024	Old School Court, Drapers Road, London, N17 6LY	Details of lighting as required by condition 4b of listed building consent ref. HGY/2021/0789 for: replacement roof windows, replacement storage heaters to communal areas, replacement / upgrade of door entry system, replacement light fittings to communal areas, replacement to rotten floor structure within Flat 25, timber repairs to roof dormers, and repairs to roof spire.	Emily Whittredge
Bruce Grove	Listed building consent (Alt/Ext)	HGY/2021/1087	Approve with Conditions	28/03/2024	Flat 1, Cedar Place, 14, Bruce Grove, London, N17 6YT	Install new double glazed timber sashes windows and door (Listed Building Consent)	Mercy Oruwari
Bruce Grove	Approval of details reserved by a condition	HGY/2022/1118	Not Determined	22/04/2024	5, Bruce Grove, London, N17 6RA	Approval of details pursuant to condition 18 (electronic gate details) attached to planning permission reference HGY/2014/1041	Philip Elliott
Bruce Grove	Consent to display an advertisement	HGY/2022/1443	Approve with Conditions	23/04/2024	537-539, High Road, London, N17 6SD	Display of 1 x replacement folded aluminium fascia panel measuring 10985mm(W) x 570mm(H) (incorporating LED illuminated trough light), , 1 x replacement branded cannister logo, 1 x replacement projecting sign, 450mm diameter, 2 x replacement ATM tablets, measuring 795mm(W) x 395mm(H), 1x window vinyl applied to glazing in blue, 1x new frosted vinyl to central window over ATM, 1x new address panel.	Sarah Madondo
Bruce Grove	Full planning permission	HGY/2021/1051	Approve with Conditions	28/03/2024	Flat 1, Cedar Place, 14, Bruce Grove, London, N17 6YT	Install new double glazed timber sash windows and door.	Mercy Oruwari
Crouch End	Full planning permission	HGY/2022/2553	Refuse	08/03/2024	Shop, 19, The Broadway, London, N8 8DU	Replacement shopfront	Emily Whittredge
Crouch End	Approval of details reserved by a condition	HGY/2022/1749	Refuse	13/05/2024	Hornsey Town Hall, The Broadway, London, N8 9BQ	Approval of details pursuant to condition 13 (Public Realm Lighting) attached to planning permission HGY/2017/2220	Samuel Uff
Crouch End	Consent to display an advertisement	HGY/2022/2618	Refuse	12/03/2024	Shop, 19, The Broadway, London, N8 8DU	Advertisement consent for replacement of existing signage with internally illuminated fascia signage and internally illuminated protruding sign.	Oskar Gregersen
Crouch End	Full planning permission	HGY/2022/4238	Approve with Conditions	24/04/2024	Flat 24, Berkeley House, 163 Tottenham Lane, Hornsey, London, N8 9FD	Installation of external air conditioning unit	Josh Parker

Crouch End	Listed building consent (Alt/Ext)	HGY/2023/1454	Approve with Conditions	15/03/2024	Hornsey Central Library, Haringey Park, Hornsey, London, N8 9JA	Refurbishment of the public realm areas, including removal of damaged concrete paving slabs to the LHS of the site and lifting and retention of remaining good condition slabs; removal of existing damaged concrete paving slabs to the front of the site around the main entrance and re-laying previously retained slabs; removal of existing mature trees and replacement with new smaller trees [completed]; refurbishment of the existing fountain structure and decorative wall; and replacement of defective cobbled areas to front of site.	Eunice Huang
Crouch End	Full planning permission	HGY/2023/2422	Approve with Conditions	25/04/2024	Ground Floor Flat A, 67 Cecile Park, Hornsey, London, N8 9AR	Ground floor rear extension.	Eunice Huang
Crouch End	Householder planning permission	HGY/2023/2761	Approve with Conditions	10/05/2024	2 Broughton Gardens, Hornsey, London, N6 5RS	Addition of rear single-storey extension, front second floor extension, and external alterations to existing house.	Eunice Huang
Crouch End	Full planning permission	HGY/2023/2908	Approve with Conditions	10/04/2024	Shop 42a-46, Park Road, Hornsey, London, N8 8TD	Installation of extract ventilation system with extract duct.	Roland Sheldon
Crouch End	Full planning permission	HGY/2023/3213	Approve with Conditions	22/03/2024	25 The Broadway, Hornsey, London, N8 8DU	Proposed extension to the rear of the retail unit and the erection of new timber fencing and new 2.4m high palisade fence enclosure.	Oskar Gregersen
Crouch End	Householder planning permission	HGY/2023/3241	Approve with Conditions	20/03/2024	5 Bourne Road, Hornsey, London, N8 9HJ	Replacement of 7nos existing windows to front and rear façade with matching double glazed timber frames to the front elevation and uPVC to the rear.	Ben Coffie
Crouch End	Householder planning permission	HGY/2023/3378	Approve with Conditions	29/02/2024	1 Drylands Road, Hornsey, London, N8 9HN	Erection of a rear dormer extension. Construction of a second floor level roof terrace with associated safety railings and privacy screen.	Daniel Boama
Crouch End	Lawful development: Proposed use	HGY/2024/0018	Approve	28/02/2024	Coolhurst Lawn Tennis And Squash Racquets Club, Courtside, Hornsey, London, N8 8EY	Certificate of lawful development (proposed) for the proposed installation of solar panels on the roof of Coolhurst Lawn Tennis & Squash Racquets Club.	Nathan Keyte
Crouch End	Removal/variation of conditions	HGY/2024/0030	Approve with Conditions	26/02/2024	Shop, 132 Crouch Hill, Hornsey, London, N8 9DX	Variation of condition 3 attached to planning permission HGY/2013/2122 to extend the shop hours of operation.	Nathan Keyte
Crouch End	Full planning permission	HGY/2024/0063	Approve with Conditions	26/04/2024	Greville Lodge, Avenue Road, Hornsey, London, N6 5DP	Replacement roof insulation, waterproof coverings, fascia, soffit boards, rainwater goods and access hatch, raising of roof parapet height, removal of existing water tank housings and flues, and painting the existing front brown weatherboards black.	Eunice Huang
Crouch End	Householder planning permission	HGY/2024/0065	Approve with Conditions	10/05/2024	1 Rose Place, The Broadway, Hornsey, London, N8 9SU	Erection of roof extension to existing single-dwelling-house (amended description).	Nathan Keyte

Crouch End	Full planning permission	HGY/2024/0077	Approve with Conditions	19/04/2024	63 Shepherds Hill, Hornsey, London, N6 5RE	Reinstatement to convert house back into 2 self-contained flats (excluding The Garden Flat), new dormer to rear of property and conversion of garage to enlarge existing residential unit.	Ben Coffie
Crouch End	Householder planning permission	HGY/2024/0100	Approve with Conditions	11/03/2024	9 Tregaron Avenue, Hornsey, London, N8 9HA	Single storey rear extension with pitched roof and glass skylights, roof extension, front and rear rooflights, replacement of windows and door to match existing style, new rear decking, making good of front façade condition.	Zara Seelig
Crouch End	Full planning permission	HGY/2024/0260	Approve with Conditions	19/03/2024	8 The Broadway, Hornsey, London, N8 9SX	Proposed alterations to existing ground floor frontage in association with decommissioning of bank comprising the removal of all existing signage, the existing ADT alarm panel, existing security camera and dome, the existing ATMs including the external lighting above the ATMs, existing blue vinyl and the existing night safe. The existing redundant letter box is to be sealed internally and the ATM and night safe apertures to be infilled and the building generally made good.	Roland Sheldon
Crouch End	Householder planning permission	HGY/2024/0276	Approve with Conditions	28/03/2024	Ground Floor and Lower Ground Floor Flat, 62 Cecile Park, Hornsey, London, N8 9AU	Replacement of existing basement single glazed timber bay window with double glazed timber casement in same opening. Removal of existing casement window at basement level and re-establishment of door opening and installation of new wooden door.	Mercy Oruwari
Crouch End	Householder planning permission	HGY/2024/0329	Approve with Conditions	03/04/2024	14 Crouch Hall Road, Hornsey, London, N8 8HU	Removal of existing flat roof dormer serving stairwell, replacement with new flat roof dormer to serve stairwall and bathroom.	Eunice Huang

Crouch End	Listed building consent (Alt/Ext)	HGY/2024/0353	Approve with Conditions	21/03/2024	8 The Broadway, Hornsey, London, N8 9SX	Listed Building Consent sought for works in association with decommissioning of Bank. External works: ? All existing signage to be removed and made good ? existing ADT alarm panel to be removed and made good ? All existing signage to be removed and made good ? existing external grade security camera with dome to be removed and made good ? Existing redundant letter box to be sealed internally ? Existing external ATMs to be removed and existing apertures to be infilled with rendered blockwork and decorated to match existing ? Existing external lighting above ATM to be removed and made good ? Existing dark blue vinyl to be removed and made good ? Existing night safe to be removed and existing aperture to be infilled with rendered blockwork and decorated to match existing. Internal works: ? Existing Barclays fittings to be removed from all floors ? Existing cashiers counters to be removed from the ground floor ? Some existing modern stud and glazed partitions removed from ground floor ? Existing loose furniture removed from all floors.	Roland Sheldon
Crouch End	Full planning permission	HGY/2024/0377	Approve with Conditions	11/04/2024	Ground Floor Flat 2, 87 Ferme Park Road, Hornsey, London, N8 9SA	Alterations to existing single storey rear extension, including the replacement of existing glazed doors in the extension?s rear elevation with new floor to ceiling windows, and the introduction of new sliding glazed doors into the extension?s side elevation.	Neil McClellan
Crouch End	Householder planning permission	HGY/2024/0389	Approve with Conditions	18/04/2024	3 Darcies Mews, Cecile Park, Hornsey, London, N8 9BW	Installation of an air source heat pump in the side garden.	Daniel Boama
Crouch End	Lawful development: Proposed use	HGY/2024/0396	Permitted Development	19/03/2024	177 Ferme Park Road, Hornsey, London, N8 9BP	Certificate of lawfulness for the proposed erection of a single storey 3m deep rear extension.	Daniel Boama
Crouch End	Full planning permission	HGY/2024/0418	Approve with Conditions	15/04/2024	45 Rosebery Gardens, Hornsey, London, N8 8SH	Change of use from class (B8) Storage to (C3) to create a 2 bed 4 person unit with the erection of a single storey extension to the rear and associated alterations to the front elevation (AMENDED DESCRIPTION).	Josh Parker
Crouch End	Lawful development: Proposed use	HGY/2024/0445	Permitted Development	29/02/2024	82 Ferme Park Road, Hornsey, London, N8 9SD	Certificate of Lawful Development (Proposed Use) for the erection of a rear dormer, and insertion of two front rooflights.	Iliyan Topalov
Crouch End	Householder planning permission	HGY/2024/0488	Approve with Conditions	22/04/2024	15 Middle Lane, Hornsey, London, N8 8PJ	Proposed replacement and raising of existing flat roof, floor plan redesign and all associated works at 15 Middle Lane	Mercy Oruwari

Crouch End	Full planning permission	HGY/2024/0539	Approve with Conditions	30/04/2024	Derwent Court, 54 Cecile Park, Hornsey, London, N8 9AT	Removal of secondary pitched roof, replacement with flat roof finish with recessed parapet finish to block of flats.	Roland Sheldon
Crouch End	Consent to display an advertisement	HGY/2024/0541	Approve with Conditions	25/04/2024	1 Broadway Parade, Tottenham Lane, Hornsey, London, N8 9TN	Installation of a new illuminated halo lit fascia sign.	Kwaku Bossman-Gyamera
Crouch End	Householder planning permission	HGY/2024/0549	Approve with Conditions	24/04/2024	15 Barrington Road, Hornsey, London, N8 8QT	Erection of ground floor rear extension with alterations to the rear façade	Ben Coffie
Crouch End	Consent under Tree Preservation Orders	HGY/2024/0558	No Objections	04/03/2024	St Aloysius College Sports Field, Hurst Avenue, Hornsey, London, N6 5TX	Five Day Notice to make safe two TPO trees at the site as follows: T1 Lombardi Poplar dead photos attached, monolith to 5 metres to make safe. T2 Ash heavy lean with decayed section , monolith to make safe given previous tree failure and leaning onto neighbours outbuilding/garden.	Daniel Monk
Crouch End	Householder planning permission	HGY/2024/0636	Approve with Conditions	14/05/2024	18 Dickenson Road, Hornsey, London, N8 9ET	Erection of a single storey rear infill extension.	Mark Chan
Crouch End	Lawful development: Proposed use	HGY/2024/0736	Permitted Development	02/05/2024	2 View Crescent, Hornsey, London, N8 8RW	Certificate of Lawful Development for the proposed erection of single storey extension which extends beyond the rear wall of the original house by 3m, for which the maximum height would be 3.37m and for which the height of the eaves would be 3m.	Iliyan Topalov
Crouch End	Full planning permission	HGY/2024/0855	Approve with Conditions	15/05/2024	199 Ferme Park Road, Hornsey, London, N8 9BS	Replacement of existing timber windows with new modern timber double glazed units.	Ben Coffie
Crouch End	Non-Material Amendment	HGY/2023/2029	Refuse	24/04/2024	Hornsey Town Hall, The Broadway, Hornsey, London, N8 9BQ	Non-Material Amendment to planning permission HGY/2017/2220 to amend the approved period lighting columns and hard landscaping around the memorial tree at the front of the site	Samuel Uff
Crouch End	Approval of details reserved by a condition	HGY/2023/2656	Refuse	08/05/2024	Hornsey Town Hall, The Broadway, Hornsey, London, N8 9BQ	Approval of details pursuant to conditions 48 (Cycle Parking) attached to planning permission HGY/2017/2220.	Samuel Uff
Crouch End	Consent under Tree Preservation Orders	HGY/2024/0038	Approve with Conditions	22/03/2024	5 Wychwood End, Hornsey, London, N6 5ND	Works to trees protected by TPOs. 1.Sycamore - remove epicormic growth to previous points 1 Lime Tree - remove epicormic growth to previous points Reason: Routine pruning and maintenance to maintain the tree's health and keep them at suitable dimensions for their location and to allow light into the garden. Both trees currently hang over onto the pavement on Stanhope Road. Lime can pose to be an obstruction to pedestrians if left overgrown.	Daniel Monk

Crouch End	Consent under Tree Preservation Orders	HGY/2024/0048	Approve with Conditions	22/03/2024	Thirsk Cottage, Stanhope Road, Hornsey, London, N6 5DE	Works to trees protected by a Group TPO Front garden T1 Horse Chestnut, remove epicormic growth on main trunk, reduce vertical growth back by 2 M approx. back into most recent previous pruning points T2 Oak tree, reduce lateral branches by 2 M approx. to clear building (Please note that the proposed works to T3 London Plane and T4 Ash do not require permission as the trees are not protected by a TPO)	Daniel Monk
Crouch End	Consent under Tree Preservation Orders	HGY/2024/0303	Approve with Conditions	22/03/2024	25 Stanhope Road, Hornsey, London, N6 5AW	Works to tree protected by a TPO T7 - Lime tree- (14m)- lift to 4m from ground level, remove low branch growing into Holly/ bay. (All other works - to trees in a Conservation Area but not protected by a TPO - are being considered separately under application reference HGY/2024/0304)	Daniel Monk
Crouch End	Non-Material Amendment	HGY/2024/0347	Refuse	22/04/2024	Hornsey Town Hall, The Broadway, Hornsey, London, N8 9BQ	Non-Material Amendment to permission HGY/2017/2220 to 1) introduce rear entrance steps to the southern (rear) elevation to Hornsey Town Hall and ramp alongside this part of the Town Hall; 2) amendment to ramped entrance to the southern corner of Town Hall Gardens ; 3) removal of 3 x trees and replanting of replacement trees; 4) associated amendments to approved landscaping and levels within Town Hall Gardens; and 5) amendments to approved landscaping of Town Hall Square.	Samuel Uff
Crouch End	Non-Material Amendment	HGY/2024/0364	Approve	19/03/2024	Highgate Cricket And Lawn Tennis Club, Crouch End Playing Fields, Park Road, Hornsey, London, N8 8JP	Non-material amendment sought to amend the wording of condition 8 (arboricultural impact assessment and tree protection plan condition) for planning permission HGY/2023/2299. Wording to be amended to allow trial investigation of tree roots to be undertaken by radar, as well as hand or air spade.	Roland Sheldon
Crouch End	Approval of details reserved by a condition	HGY/2024/0373	Approve	28/03/2024	Highgate Cricket And Lawn Tennis Club, Crouch End Playing Fields, Park Road, Hornsey, London, N8 8JP	Details pursuant to conditions 5 (phasing scheme in relation to tree protection plan) and 8 (ground investigation methodology) of planning permission HGY/2023/2299.	Roland Sheldon
Crouch End	Approval of details reserved by a condition	HGY/2024/0498	Approve	24/04/2024	42 Shepherds Hill, Hornsey, London, N6 5RR	Approval of details pursuant to conditions 6 (details of chartered engineer) & 7 (method of construction statement) of planning permission reference HGY/2023/3203.	Roland Sheldon

Crouch End	Consent under Tree Preservation Orders	HGY/2024/0503	No Objections	27/03/2024	6 Haslemere Road, Hornsey, London, N8 9QX	T1 Acer pseudoplatanus (Sycamore closest to house) Reduce to previous reduction points - routine management to contain crown and root-activity T2 Acer pseudoplatanus (Sycamore closest to road) Remove deadwood, reduce to previous reduction points / crown reduce by up to 2m - routine management to contain crown and root-activity due to under management	Daniel Monk
Crouch End	Approval of details reserved by a condition	HGY/2024/0526	Approve	25/04/2024	42 Shepherds Hill, Hornsey, London, N6 5RR	Details pursuant to conditions 4 (details of green roof), 5 (soil investigation) and 6 (details of chartered civil engineer) of planning permission HGY/2020/0190.	Roland Sheldon
Crouch End	Consent under Tree Preservation Orders	HGY/2024/0712	Refuse	15/05/2024	18 Coolhurst Road, Hornsey, London, N8 8EL	Works to tree protected by a TPO. Yew (T1): Reduce all round by 2-3m All prescribed treatment to protect the health and stability of trees to be retained on the site, and to ensure that a satisfactory standard of visual amenity is provided and maintained. All specified work is within good arboricultural practice and husbandry. (Please note that works to Willow (T2) will be considered under application reference HGY/2024/0713, as the tree is not protected by a TPO but is located within a Conservation Area)	Daniel Monk
Crouch End	Approval of details reserved by a condition	HGY/2024/0840	Approve	13/05/2024	Stanhope Road Bridge, Stanhope Road, London, N6 5DE	Approval of details pursuant to conditions 8 (contamination) and 11 (NRM) attached to planning permission HGY/2021/2718.	Eunice Huang
Crouch End	Non-Material Amendment	HGY/2024/1084	Approve	15/05/2024	21 Topsfield Road, Hornsey, London, N8 8SN	Non-Material Amendment to approved application HGY/2020/0881 (Erection of single storey rear infill extension to existing apartment) seeking the omission of the approved lantern roof and the creation of an open courtyard/atrium within the side return extension.	Oskar Gregersen
Crouch End; Highgate	Approval of details reserved by a condition	HGY/2023/2877	Approve	26/03/2024	Stanhope Road Bridge, Stanhope Road, London, N6 5DE	Approval of details pursuant to condition 3 (materials and finishes) attached to planning permission HGY/2021/2718.	Eunice Huang
Crouch End; Highgate	Non-Material Amendment	HGY/2023/2878	Approve	13/05/2024	Stanhope Road Bridge, Stanhope Road, London, N6 5DE	Non-Material Amendment to planning permission ref. HGY/2021/2718 for revised ramp layout, inclusion of estate fencing at the top and side of the embankments, revised footprint of stairs (south west embankment), removal of retaining wall on north east embankment, and inclusion of a water feature in the north east quadrant.	Eunice Huang

Fortis Green	Full planning permission	HGY/2022/4411	Approve with Conditions	04/03/2024	Lynton Grange, Fortis Green, Hornsey, London, N2 9EU	Demolition of 20 x existing garages on-site and erection of 5 x two-storey residential units with associated landscaping, parking, refuse and cycle storage.	Matthew Gunning
Fortis Green	Full planning permission	HGY/2023/2222	Approve with Conditions	26/03/2024	First Floor Flat, 20 Alexandra Park Road, Hornsey, London, N10 2AB	Proposed rear extension at second floor level; replacement of existing roof window (flat roof light) in the upper flat roof; replacement or repair of six existing timber sash windows to the front and rear of the property.	Ben Coffie
Fortis Green	Householder planning permission	HGY/2023/2791	Approve with Conditions	26/03/2024	15 Midhurst Avenue, Hornsey, London, N10 3EP	Erection of a single storey timber garden studio for ancillary residential purposes/to be used for purposes incidental to the enjoyment of the dwelling house.	Eunice Huang
Fortis Green	Householder planning permission	HGY/2023/3042	Approve with Conditions	19/03/2024	15 Woodberry Crescent, Hornsey, London, N10 1PJ	Proposed loft extension.	Josh Parker
Fortis Green	Householder planning permission	HGY/2023/3102	Approve with Conditions	29/02/2024	18 Lauradale Road, Hornsey, London, N2 9LU	Demolition of existing ground floor rear extension and concrete shed, construction of replacement ground floor rear extension and associated landscaping, construction of roof extension to rear roof pitch.	Eunice Huang
Fortis Green	Householder planning permission	HGY/2023/3350	Refuse	06/03/2024	488 Archway Road, Hornsey, London, N6 4NA	Construction of proposed rear/side dormers to facilitate loft conversion	Sabelle Adjagboni
Fortis Green	Householder planning permission	HGY/2024/0010	Approve with Conditions	30/04/2024	1 Ringwood Avenue, Hornsey, London, N2 9NT	Erection of domestic rear outbuilding	Ben Coffie
Fortis Green	Full planning permission	HGY/2024/0033	Approve with Conditions	29/02/2024	Ground Floor Flat, 30 Tetherdown, Hornsey, London, N10 1NB	Erection of single storey timber clad contemporary garden building to be used as a home office.	Ben Coffie
Fortis Green	Removal/variation of conditions	HGY/2024/0086	Approve with Conditions	07/03/2024	25 Muswell Road, Hornsey, London, N10 2BS	Variation of condition 2 attached to planning permission HGY/2023/0469 to replace parapet roof with a fascia roof on single storey rear extension, raise the height of the kitchen side window cill, and insert a small white timber window in place of existing design on the front gable.	Daniel Boama
Fortis Green	Householder planning permission	HGY/2024/0133	Approve with Conditions	01/03/2024	Flat 1, 135 Muswell Avenue, Hornsey, London, N10 2EN	Erection of ground floor single storey side infill extension.	Roland Sheldon
Fortis Green	Householder planning permission	HGY/2024/0154	Approve with Conditions	07/03/2024	18 Barnard Hill, Hornsey, London, N10 2HB	Replacement of existing front garden wall, with a new wall with a maximum height of 1.28m.	Nathan Keyte
Fortis Green	Full planning permission	HGY/2024/0242	Approve with Conditions	17/04/2024	36 Great North Road, Hornsey, London, N6 4LU	Replacement of existing timber sash windows with double glazed uPVC windows.	Mark Chan
Fortis Green	Householder planning permission	HGY/2024/0312	Approve with Conditions	01/05/2024	148 Osier Crescent, Hornsey, London, N10 1RF	Erection of a rear dormer roof extension with front rooflights.	Mark Chan
Fortis Green	Lawful development: Proposed use	HGY/2024/0382	Permitted Development	11/04/2024	Tudor House, 45 Lanchester Road, Hornsey, London, N6 4SX	Certificate of Lawfulness for the proposed replacement of an existing door on the property's side elevation and the replacement of an existing window with a new door on the rear rear elevation.	Sabelle Adjagboni

Fortis Green	Lawful development: Proposed use	HGY/2024/0465	Permitted Development	06/03/2024	37 Hill Road, Hornsey, London, N10 1JE	Certificate of Lawful Development (Proposed) for the formation of vehicle crossover and the construction of an area of permeable, hard standing driveway to accommodate a single parking space.	Iliyan Topalov
Fortis Green	Lawful development: Proposed use	HGY/2024/0501	Permitted Development	19/04/2024	67 Osier Crescent, Hornsey, London, N10 1QS	Application for a Lawful Development Certificate for a single storey ground floor rear extension.	Zara Seelig
Fortis Green	Householder planning permission	HGY/2024/0560	Approve with Conditions	25/04/2024	38 Ringwood Avenue, Hornsey, London, N2 9NS	Loft conversion with rear facing dormer, associated alterations to the main roof, first floor side extension and roof lights.	Oskar Gregersen
Fortis Green	Householder planning permission	HGY/2024/0586	Approve with Conditions	14/05/2024	27 Woodside Avenue, Hornsey, London, N6 4SP	Revision to planning permission reference HGY/2023/2273 for the erection of a single storey side and rear wrap around extension, formation of new steps to garden, new Upvc windows to replace existing windows, external and internal alterations. Amendments include provision of new front porch following demolition of existing porch and Upvc windows / doors in grey colour throughout.	Sarah Madondo
Fortis Green	Householder planning permission	HGY/2024/0606	Approve with Conditions	01/05/2024	24 Alexandra Park Road, Hornsey, London, N10 2AB	Erection of single storey ground floor rear extension.	Kwaku Bossman-Gyamera
Fortis Green	Householder planning permission	HGY/2024/0618	Approve with Conditions	18/04/2024	63 Windermere Road, Hornsey, London, N10 2RD	Formation of rear dormer window and installation of 3nos. roof lights to front roofslope	Daniel Boama
Fortis Green	Householder planning permission	HGY/2024/0777	Approve with Conditions	02/05/2024	57 Fordington Road, Hornsey, London, N6 4TH	Design alterations to consented application HGY/2023/1964. Works to include: demolition of existing conservatory; erection of single storey rear extension at ground level; erection of side extension at first floor level; part garage conversion; alterations and replacement of existing windows; insulated render to rear and side walls; installation of air source heat pump and associated enclosure to rear garden (amended description).	Ben Coffie
Fortis Green	Lawful development: Proposed use	HGY/2024/0785	Permitted Development	10/04/2024	18 Shakespeare Gardens, Hornsey, London, N2 9LJ	Removal of existing and erection of linked side and rear dormers to dwellinghouse.	Roland Sheldon
Fortis Green	Householder planning permission	HGY/2024/0915	Approve with Conditions	17/05/2024	68 Woodside Avenue, Hornsey, London, N6 4ST	Erection of a single-storey rear extension and double-storey side extension; enlargement of the existing rear dormer window and erection of side and front dormer windows at second-floor level; and creation of a driveway accessed from Lanchester Road relocating the existing dropped kerb in this street.	Mercy Oruwari

Fortis Green	Prior notification: Development by telecoms operators	HGY/2024/0510	Permitted Development	27/02/2024	Car Park to rear of Manhattan Lights, 56 Muswell Hill, Hornsey, London, N10 3ST	Formal notification in writing of 28 days notice in advance, in accordance with Regulation 5 of the Electronic Communications Code (Conditions and Restrictions) Regulations 2003 (as amended). Description of Development: ? The proposed upgrade consists of the replacement of the existing 20m monopole supporting 3no. antennas, 2no. cabinets and 1no. meter cabinet, with a replacement 20m monopole supporting 5no. antennas, 2no. cabinets and 1no. meter cabinet, and ancillary works thereto.	Kwaku Bossman-Gyamera
Fortis Green	Approval of details reserved by a condition	HGY/2023/1267	Approve	28/02/2024	Coppetts Wood Hospital, Coppetts Road, Hornsey, London, N10 1JN	Approval of details pursuant to condition 24 (Biodiversity) attached to planning permission HGY/2016/3482 including omission of basement parking area and overall reduction in parking provision, reduction in total number of dwellings from 80 to 77 (51% affordable housing by habitable room) and change to housing mix, amendments to the internal layout and slight reduction in landscaped areas.	Tania Skelli
Fortis Green	Approval of details reserved by a condition	HGY/2023/2610	Approve	07/03/2024	Land to the rear of the block 1-14 Rowan, Methuen Park, London, N10 2JS	Approval of details pursuant to condition 4 (Method of Construction Statement) and 10 (Chartered Engineer Details) attached to HGY/2023/0130.	Eunice Huang
Fortis Green	Approval of details reserved by a condition	HGY/2024/0008	Approve	01/05/2024	Land to the rear of the block 1-14 Rowan, Methuen Park, London, N10 2JS	Details pursuant to Condition 3 (Materials) (partial discharge for details of bricks, window frames, stone/render) and Condition 12 (Green Roof) attached to planning permission HGY/2023/0130.	Eunice Huang
Fortis Green	Approval of details reserved by a condition	HGY/2024/0264	Approve	27/03/2024	22 Colney Hatch Lane, Hornsey, London, N10 1DU	Approval of details reserved by condition 5 (Planting Plan for Replacement Trees) attached to planning consent HGY/2023/1160	Mercy Oruwari
Fortis Green	Non-Material Amendment	HGY/2024/0314	Approve	08/04/2024	34 Grand Avenue, Hornsey, London, N10 3BP	Non-Material Amendment ref: HGY/2023/1890 to omit addition of garden store from lower ground level.	Josh Parker
Fortis Green	Consent under Tree Preservation Orders	HGY/2024/0388	Approve with Conditions	15/05/2024	Flat 2, 28 Tetherdown, Hornsey, London, N10 1NB	Works to tree protected by a TPO. T1 - Oak tree in garden of number 28 Tetherdown- (22m) Crown reduction back to most recent pruning points (approximately two and a half metres crown reduction). The tree is heavily shading 4 gardens and the proposed work is part of ongoing tree management.	Daniel Monk
Fortis Green	Consent under Tree Preservation Orders	HGY/2024/0471	Refuse	14/05/2024	41 Sussex Gardens, Hornsey, London, N6 4LY	T1: Silver birch (14m): Crown reduce by 1-1.5m as part of regular maintenance and to keep tree at a size suitable for its location	Daniel Monk

Fortis Green	Consent under Tree Preservation Orders	HGY/2024/0507	Approve with Conditions	17/04/2024	1 Beech Drive, Hornsey, London, N2 9NX	Works to tree protected by a TPO. T1: Oak (15m): Remove lower branch, specifically prune back leaving >1m for each branch from the trunk thus avoiding large open wounds on the main trunk (AMENDED DESCRIPTION)	Daniel Monk
Fortis Green	Non-Material Amendment	HGY/2024/0520	Approve	13/05/2024	1 Ringwood Avenue, Hornsey, London, N2 9NT	Non-Material Amendment to planning permission HGY/2022/2076 seeking amendments to add a first floor obscured window to the side elevation.	Ben Coffie
Fortis Green	Non-Material Amendment	HGY/2024/0762	Approve	19/04/2024	15 Greenfield Drive, Hornsey, London, N2 9AF	Non-Material Amendment application following a grant of planning permission HGY/2023/0620 in relation to the replacement of the approved dark brown timber windows and doors with dark brown UPVC windows and doors as indicated in attached drawing PL001.	Mercy Oruwari
Fortis Green	Approval of details reserved by a condition	HGY/2024/0932	Approve	02/05/2024	10, Fordington Road, London, N6 4TJ	Approval of details pursuant to condition 14 (Carbon Offset) attached to planning permission ref: HGY/2021/1604	Mark Chan
Fortis Green; Muswell Hill	Full planning permission	HGY/2022/1246	Approve with Conditions	28/03/2024	412, Muswell Hill Broadway, London, N10 1DJ	Redevelopment of existing ground floor and first floor rear block retail space including extension, demolition and changing levels. Change of use of front block first and second floors of the existing building to residential use and construction of additional third floor on the front block and additional second floor to the rear block to provide 9 residential flats above the commercial unit. Works include refuse, cycle, amenity space and changes to elevations and service lift.	Josh Parker
Harringay	Full planning permission	HGY/2022/2486	Approve with Conditions	26/04/2024	595A + 597B, Green Lanes, London, N8 0RE	Erection of a first floor rear extension. (AMENDED DESCRIPTION)	Mark Chan
Harringay	Householder planning permission	HGY/2022/2708	Refuse	15/03/2024	First Floor Flat B, 40, Mattison Road, London, N4 1BD	Subdivision of the upper floor flat into 1x studio and 1 self-contained flat following grant of loft extension under ref HGY/2022/1892.	Mercy Oruwari
Harringay	Householder planning permission	HGY/2023/3073	Approve with Conditions	08/03/2024	Ground Floor Flat, 86 Seymour Road, Hornsey, London, N8 0BG	Erection of a single storey rear garden timber clad outbuilding for use as a home office.	Mercy Oruwari
Harringay	Full planning permission	HGY/2023/3118	Approve	16/04/2024	487 Green Lanes, Hornsey, London, N4 1AJ	Erection of new raised roof with dormers to accommodate new 3 bedroom flat (4 occupants). Alterations to flat 487 to facilitate access. The replacement of the existing mansard fronting Pemberton Road with an extended external wall. Redesign of front facade with addition of Gable wall and Lintels to windows. New cycle storage for 6 bicycles.	Sarah Madondo

Harringay	Householder planning permission	HGY/2023/3336	Approve with Conditions	26/02/2024	469 Green Lanes, London N4 1AJ	External alterations following approval to convert building from Commercial to Residential (under LPA ref: HGY/2023/2670), including alterations to exterior fenestration and installation of roof lights	Oskar Gregersen
Harringay	Full planning permission	HGY/2023/3412	Approve with Conditions	11/03/2024	Flat B, 91 Warham Road, Hornsey, London, N4 1AS	Erection of rear dormer roof extension and rear roof terrace, raising the ridge height and associated alterations and refurbishment of the property.	Mark Chan
Harringay	Lawful development: Proposed use	HGY/2024/0003	Refuse	14/03/2024	42 Lothair Road North, Hornsey, London, N4 1EW	Certificate of Lawfulness for a proposed ground floor infill side extension, roof extension including a L-shaped rear dormer and installation of 2no. front rooflights.	Mark Chan
Harringay	Lawful development: Proposed use	HGY/2024/0042	Permitted Development	28/02/2024	99 Beresford Road, Hornsey, London, N8 0AG	Certificate of lawfulness for the erection of L-shaped dormer	Sarah Madondo
Harringay	Lawful development: Proposed use	HGY/2024/0061	Approve	12/03/2024	73 Sydney Road, Hornsey, London, N8 0ET	Certificate of lawfulness for the erection of a rear dormer and roof extension including the insertion of 2x rear rooflights - proposed use	Mercy Oruwari
Harringay	Full planning permission	HGY/2024/0088	Approve with Conditions	06/03/2024	Ground Floor Flat, 15 Burgoyne Road, Hornsey, London, N4 1AA	Replacement of front ground floor bay windows with timber sash windows, and replacement of rear door with window.	Nathan Keyte
Harringay	Householder planning permission	HGY/2024/0124	Refuse	16/04/2024	31 Hewitt Road, Hornsey, London, N8 0BS	Erection of a ground floor rear roof extension, raised ridge roof extension complete with L-shaped dormer, roof terrace and 1.8m high brick privacy screen, internal alterations and all associated works.	Daniel Boama
Harringay	Lawful development: Existing use	HGY/2024/0131	Approve	13/03/2024	Gymnasium, Salisbury Promenade, Green Lanes, Hornsey, London, N8 0RX	Certificate of Lawful Development for existing use of the premises as a gym and indoor recreation since 13th April 2010	Kwaku Bossman-Gyamera
Harringay	Householder planning permission	HGY/2024/0136	Approve with Conditions	12/04/2024	108 Pemberton Road, Hornsey, London, N4 1BA	Erection of single storey ground floor infill extension, enlargement of existing rear window within rear dormer, creation of rear bay feature at second floor level.	Eunice Huang
Harringay	Full planning permission	HGY/2024/0214	Approve with Conditions	22/03/2024	599-601 Green Lanes, Hornsey, London, N8 0RE	Erection of glazed single storey front enclosure with retractable roof canopy	Roland Sheldon
Harringay	Householder planning permission	HGY/2024/0222	Approve with Conditions	25/03/2024	83 Duckett Road, Hornsey, London, N4 1BL	Erection of single storey rear/side extension	Sabelle Adjagboni
Harringay	Full planning permission	HGY/2024/0245	Approve with Conditions	19/04/2024	267 Wightman Road, Hornsey, London, N8 0NB	Replacement of existing timber sash windows with double glazed uPVC windows.	Mark Chan
Harringay	Householder planning permission	HGY/2024/0305	Approve with Conditions	17/05/2024	10 Coningsby Road, Hornsey, London, N4 1EG	Proposed hip-to-gable roof extension, rear dormer roof extension, the insertion of front rooflights and the formation of a rear roof terrace. This is a revision of existing planning permission HGY/2021/0234.	Josh Parker

Harringay	Householder planning permission	HGY/2024/0336	Approve with Conditions	26/03/2024	249 Wightman Road, Hornsey, London, N8 0NB	Retention of existing rear dormer with linked extension over outrigger flat roof, construction of a roof terrace on existing first floor flat roof, with associated decking, balustrades and screen planting. Insertion of green roof on remaining section of first floor flat roof (revised description).	Roland Sheldon
Harringay	Householder planning permission	HGY/2024/0341	Approve with Conditions	17/04/2024	Flat B, 68 Raleigh Road, Hornsey, London, N8 0HY	Erection of a second floor roof terrace on existing 2-storey rear outrigger.	Neil McClellan
Harringay	Householder planning permission	HGY/2024/0344	Approve with Conditions	05/04/2024	Flat A, 1 Coningsby Road, Hornsey, London, N4 1EG	Erection of a small garden room at the rear of the garden	Oskar Gregersen
Harringay	Householder planning permission	HGY/2024/0351	Approve with Conditions	17/04/2024	87 Beresford Road, Hornsey, London, N8 0AG	Erection of a single storey rear extension and alteration to rear elevation (AMENDED DESCRIPTION)	Mark Chan
Harringay	Consent to display an advertisement	HGY/2024/0358	Approve with Conditions	09/04/2024	Queens Head, 677 Green Lanes, Hornsey, London, N8 0QY	Advertisement consent for display of internally illuminated signage for Asda Express store	Oskar Gregersen
Harringay	Lawful development: Proposed use	HGY/2024/0383	Approve	08/04/2024	36 Fairfax Road, Hornsey, London, N8 0NG	Certificate of Lawfulness for proposed loft conversion with Juliet balcony, 2 Velux windows to the front elevation, plus a roof extension to the rear outrigger.	Eunice Huang
Harringay	Lawful development: Proposed use	HGY/2024/0461	Permitted Development	29/02/2024	139 Fairfax Road, Hornsey, London, N8 0NJ	Certificate of Lawful Development (Proposed dev) for the removal of the rear outrigger chimney, erection of a rear dormer on the main roof with linked smaller dormer extension above the rear outrigger, insertion of three front rooflights and one rear Juliet balcony.	Iliyan Topalov
Harringay	Householder planning permission	HGY/2024/0475	Approve with Conditions	26/04/2024	42 Warham Road, Hornsey, London, N4 1AT	Erection of L-shaped rear dormer and rear roof terrace and installation of front rooflight.	Mark Chan
Harringay	Lawful development: Proposed use	HGY/2024/0476	Refuse	29/02/2024	42 Seymour Road, Hornsey, London, N8 0BE	Certificate of Lawful Development (Proposed Use) for removal of the rear outrigger chimney, erection of an L-shaped rear dormer spanning the rear main roof and rear outrigger, with two rear-facing Juliet balconies.	Iliyan Topalov
Harringay	Householder planning permission	HGY/2024/0478	Approve with Conditions	16/05/2024	72 Falkland Road, Hornsey, London, N8 0NP	Erection of a single storey rear and side wraparound extension.	Mark Chan
Harringay	Lawful development: Proposed use	HGY/2024/0486	Refuse	19/04/2024	119 Warham Road, Hornsey, London, N4 1AS	Certificate of lawfulness for the erection of an L-shaped dormer.	Sarah Madondo
Harringay	Householder planning permission	HGY/2024/0551	Approve with Conditions	26/04/2024	Ground Floor Flat A, 110 Seymour Road, Hornsey, London, N8 0BG	Erection of a single storey rear extension.	Sarah Madondo
Harringay	Householder planning permission	HGY/2024/0571	Approve with Conditions	29/04/2024	58 Beresford Road, Hornsey, London, N8 0AJ	Single storey, rear side kitchen extension.	Zara Seelig
Harringay	Householder planning permission	HGY/2024/0642	Approve with Conditions	03/05/2024	73 Sydney Road, Hornsey, London, N8 0ET	Single storey infill extension to the side of the property's rear outrigger.	Mercy Oruwari
Harringay	Householder planning permission	HGY/2024/0678	Approve with Conditions	07/05/2024	32 Pemberton Road, Hornsey, London, N4 1AZ	Single storey side return extension	Oskar Gregersen

Harringay	Lawful development: Proposed use	HGY/2024/0761	Approve	07/05/2024	Covered Reservoir, Finsbury Park, Green Lanes, Hornsey, London	Lawful Development (proposed): Water Tank Enclosure building associated with public toilets and Café under Part 12 of the General Permitted Development Order 2015.	Nathan Keyte
Harringay	Lawful development: Proposed use	HGY/2024/0844	Permitted Development	16/04/2024	25 Beresford Road, Hornsey, London, N8 0AL	Certificate of Lawful Development (Proposed) for the erection of a rear dormer over the main and the outrigger roof, insertion of 2x front facing rooflights.	Iliyan Topalov
Harringay	Lawful development: Proposed use	HGY/2024/0963	Permitted Development	30/04/2024	13 Wightman Road, Hornsey, London, N4 1RQ	Certificate of Lawful Development (Proposed) for extending the roof of the rear outrigger	Iliyan Topalov
Harringay	Lawful development: Existing use	HGY/2024/1112	Approve	02/05/2024	Ground Floor Flat, 42 Wightman Road, Hornsey, London, N4 1RU	Certificate of Lawful Development for the existing use of the Ground Floor and Lower Ground Floor as a single self-contained one-bedroom flat	Iliyan Topalov
Harringay	Prior approval Part 1 Class A.1(ea): Larger home extension	HGY/2024/0941	Not Required	16/05/2024	231 Wightman Road, Hornsey, London, N8 0BA	Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 3.8m and for which the height of the eaves would be 3m	Oskar Gregersen
Harringay	Prior approval Part 1 Class A.1(ea): Larger home extension	HGY/2024/0960	Not Required	17/05/2024	92 Fairfax Road, Hornsey, London, N8 0NL	Erection of single storey extension which extends beyond the rear wall of the original house by 5.8m, for which the maximum height would be 3.5m and for which the height of the eaves would be 3m	Oskar Gregersen
Harringay	Non-Material Amendment	HGY/2024/0355	Refuse	11/03/2024	29 Mattison Road, Hornsey, London, N4 1BG	Non-Material Amendment: Minor enlargement to roof terrace approved under HGY/2023/1240	Oskar Gregersen
Harringay	Approval of details reserved by a condition	HGY/2024/0646	Approve	15/05/2024	Belgrave Mansions, 7 Willoughby Road, Hornsey, London, N8 0HR	Approval of details pursuant to condition 4 (Method of Construction Statement) and condition 5 (Full Details of Cycle Parking Facilities) attached to planning permission HGY/2023/2518.	Kwaku Bossman-Gyamera
Harringay; St Ann's	Full planning permission	HGY/2021/4756	Approve with Conditions	29/02/2024	22D, Grand Parade, London, N4 1LA	Change of use of offices (Use Class E) to two-storey 1-bed dwelling (Use Class C3)	Emily Whittredge

Hermitage & Gardens	Approval of details reserved by a condition	HGY/2022/1832	Approve	15/04/2024	Land adjoining, Remington Road and, Putford Road, London, N15	Approval of details pursuant Condition 16 (Cycle Storage) attached to planning permission ref: HGY/2021/2882 dated 9/6/2022 for the redevelopment of site including demolition of garages to provide 46 new homes for Council rent (Use Class C3) comprising part 3, 5 and 6 storey apartment buildings (31 homes) and 1, 2 and 3 storey houses and maisonettes (15 homes) with associated amenity space, landscaping, refuse/ recycling and cycle storage facilities. Reconfiguration of Remington Road as one-way street, 7 on-street parking spaces, children's play space, public realm improvements and relocation of existing refuse/recycling facilities.	Daniel Boama
Hermitage & Gardens	Householder planning permission	HGY/2023/0388	Approve with Conditions	18/03/2024	207 Hermitage Road, Tottenham, London, N4 1NW	Installation of air-conditioning/heating unit (condenser unit) at ground floor level in the rear garden. (AMENDED DESCRIPTION)	Daniel Boama
Hermitage & Gardens	Householder planning permission	HGY/2023/3375	Approve with Conditions	27/03/2024	111 Chesterfield Gardens, Tottenham, London, N4 1LW	Erection of single storey infill side extension and rear extension.	Emily Whittredge
Hermitage & Gardens	Lawful development: Proposed use	HGY/2024/0105	Approve	11/03/2024	5 Rutland Gardens, Tottenham, London, N4 1JN	Certificate of lawfulness for the erection of a rear dormer and roof extension including the insertion of 2x front rooflights - proposed use	Mercy Oruwari
Hermitage & Gardens	Householder planning permission	HGY/2024/0106	Approve with Conditions	11/03/2024	5 Rutland Gardens, Tottenham, London, N4 1JN	Replacement of the existing flat roof of the front bay window with a turret roof projecting from the front main roof slope to match the neighbouring property at No 3.	Mercy Oruwari
Hermitage & Gardens	Householder planning permission	HGY/2024/0165	Refuse	18/03/2024	70 Stanhope Gardens, Tottenham, London, N4 1HT	First floor rear extension over existing ground floor kitchen.	Kwaku Bossman-Gyamera
Hermitage & Gardens	Lawful development: Existing use	HGY/2024/0288	Approve	25/03/2024	Garage Site Rear Of 10-16, Ashfield Road, Tottenham, London	Certificate of Lawful Development for the demolition of existing garages to certify the works of planning permission ref. HGY/2020/3271 have been lawfully implemented within the time limit set down by Condition no. 1 and therefore the completion of the balance of the approved development would be lawful.	Kwaku Bossman-Gyamera
Hermitage & Gardens	Householder planning permission	HGY/2024/0365	Approve with Conditions	10/04/2024	86 Roseberry Gardens, Tottenham, London, N4 1JL	Single storey rear and side infill extension with flat roof and rooflights.	Neil McClellan

Hermitage & Gardens	Change of use	HGY/2024/0469	Approve with Conditions	16/04/2024	44 Chesterfield Gardens, Tottenham, London, N4 1LP	Replacement of all existing single-glazed timber windows with double-glazed UPVC windows to the front and rear elevations, with the style, size, method of opening, colour and fenestration of the replacement windows matching the ones they are replacing. Replacement of existing single-glazed timber door to rear of property with a UPVC double-glazed door to match the existing. Replacement fascias in UPVC. Change of use of the property from C3(b) to C3(a).	Zara Seelig
Hermitage & Gardens	Change of use	HGY/2024/0470	Approve with Conditions	16/04/2024	60 Chesterfield Gardens, Tottenham, London, N4 1LP	Replace all existing single-glazed timber windows with double-glazed UPVC windows to the front and rear elevations. The style, size, method of opening, colour and fenestration of the replacement windows are to match the ones they are replacing. Replacement of existing single-glazed timber door to rear of property with a UPVC double-glazed door to match the existing. Replace fascias in UPVC. Change of use of the property from C3(b) to C3(a).	Zara Seelig
Hermitage & Gardens	Lawful development: Proposed use	HGY/2024/0588	Permitted Development	14/03/2024	1 Stanhope Gardens, Tottenham, London, N4 1HY	Certificate of Lawful Development (Proposed) for the replacement of the exiting rear extension with a new rear extension, alterations to ground floor rear fenestration, the erection of a rear dormer extending over both the main and outrigger roof, the insertion of two front rooflights.	Iliyan Topalov
Hermitage & Gardens	Householder planning permission	HGY/2024/0603	Approve with Conditions	28/03/2024	102 Rutland Gardens, Tottenham, London, N4 1JR	Demolition of existing extensions and replacement with new linked single-storey ground floor infill side and rear extension, new external lightwell space to existing ground floor rear bedroom, replacement of casement window to ground floor rear bedroom with french doors, replacement of existing casement window to the rear bedroom on the first floor with double glazed traditional style sash windows.	Roland Sheldon
Hermitage & Gardens	Lawful development: Proposed use	HGY/2024/0918	Permitted Development	25/04/2024	197 Hermitage Road, Tottenham, London, N4 1NW	Certificate of Lawful Development (Proposed) for the erection of a rear dormer extension over the outrigger	Iliyan Topalov
Hermitage & Gardens	Lawful development: Proposed use	HGY/2024/0962	Permitted Development	23/04/2024	6 Pulford Road, Tottenham, London, N15 6SP	Certificate of Lawful Development (Proposed) for the erection of a single storey extension which extends beyond the rear wall of the original house by 3m, for which the maximum height would be 2.85m and for which the height of the eaves would be 2.67m.	Iliyan Topalov

Hermitage & Gardens	Approval of details reserved by a condition	HGY/2023/1540	Approve	26/03/2024	108, Vale Road, London, N4 1TD	Approval of details pursuant to condition 9 (Construction Environmental Management Plan (CEMP)) attached to planning permission ref. HGY/2022/0044 dated 9 June 2023.	Sarah Madondo
Hermitage & Gardens	Approval of details reserved by a condition	HGY/2023/2616	Approve	14/03/2024	Mayfield House, St Anns General Hospital, St Anns Road, Tottenham, London, N15 3TH	Partial approval of details (Phase 1A only) pursuant to Condition 16 (A) (Remediation Strategy) attached to Planning Permission Ref: HGY/2022/1833 dated 10 July 2023.	John Kaimakamis
Hermitage & Gardens	Approval of details reserved by a condition	HGY/2023/2867	Approve	14/03/2024	108 Vale Road, London N4 1TD	Approval of details reserved by a condition 13a(Energy Strategy) attached to planning reference HGY/2022/0044	Sarah Madondo
Hermitage & Gardens	Screening Opinion	HGY/2023/3141	Not Required	14/05/2024	New River, Eade Road, London N4 1DN	Request for a formal Environmental Impact Assessment (EIA) Screening Opinion under Part 2, Regulation 6 of the Town and Country Planning (Environmental Impact Assessment) (England) Regulations 2017 (?the EIA Regulations?) for proposed works on the New River, Eade Road to install sheet piling on the northern bank with two areas of concrete lining in locations where there are below ground services which prevent the use of sheet piles for repair and renewal of the existing long-distance aqueduct.	Samuel Uff
Hermitage & Gardens	Approval of details reserved by a condition	HGY/2024/0142	Approve	10/04/2024	Mayfield House, St Anns General Hospital, St Anns Road, Tottenham, London, N15 3TH	Partial approval of details (Phase 1A) pursuant to Condition 6 (A) (Whole Life Carbon Assessment) attached to Planning Permission Ref: HGY/2022/1833 dated 10 July 2023.	John Kaimakamis
Hermitage & Gardens	Approval of details reserved by a condition	HGY/2024/0151	Approve	14/03/2024	Garage Site Rear Of 10-16, Ashfield Road, Tottenham, London	Approval of details reserved by a condition 5 (Site Boundary Treatment), condition 6 (Refuse, Waste Storage and Recycling Facilities), condition 8 (Secure and Covered Cycle Parking) and condition 9 (Landscaping) attached to planning permission HGY/2020/3271.	Kwaku Bossman-Gyamera
Hermitage & Gardens	Approval of details reserved by a condition	HGY/2024/0196	Approve	12/03/2024	Garage Site Rear Of 10-16, Ashfield Road, Tottenham, London	Approval of details reserved by a condition 12 (Plant and Machinery) attached to planning permission HGY/2020/3271.	Kwaku Bossman-Gyamera
Hermitage & Gardens	Approval of details reserved by a condition	HGY/2024/0197	Approve	12/03/2024	Garage Site Rear Of 10-16, Ashfield Road, Tottenham, London	Approval of details reserved by a condition 10 (Site Investigation Report - contamination) attached to planning permission HGY/2020/3271.	Kwaku Bossman-Gyamera
Hermitage & Gardens	Non-Material Amendment	HGY/2024/0216	Approve	13/03/2024	Florentia Clothing Village, Vale Road, Tottenham, London, N4 1TD	Non-Material Amendment to the wording of condition 13a (Energy Strategy) attached to planning reference HGY/2022/0044 to read as per covering letter.	Sarah Madondo

Hermitage & Gardens	Approval of details reserved by a condition	HGY/2024/0299	Approve	28/03/2024	Land adjoining Remington Road and Pulford Road London N15	Approval of details pursuant to condition 23 (Part M4(2)) attached to planning permission ref: HGY/2021/2882 dated 9/6/2022 for the redevelopment of site including demolition of garages to provide 46 new homes for Council rent (Use Class C3) comprising part 3, 5 and 6 storey apartment buildings (31 homes) and 1, 2 and 3 storey houses and maisonettes (15 homes) with associated amenity space, landscaping, refuse/ recycling and cycle storage facilities. Reconfiguration of Remington Road as one-way street, 7 on-street parking spaces, children's play space, public realm improvements and relocation of existing refuse/recycling facilities.	Daniel Boama
Hermitage & Gardens	Non-Material Amendment	HGY/2024/0345	Approve	15/03/2024	Land Opposite 1-24, Remington Road, Tottenham, London	Non-Material Amendment to planning permission ref. HGY/2021/2882 granted on 9th June 2022 for the redevelopment of site including demolition of garages to provide 46 new homes for Council rent (Use Class C3) comprising part 3, 5 and 6 storey apartment buildings (31 homes) and 1, 2 and 3 storey houses and maisonettes (15 homes) with associated amenity space, landscaping, refuse/ recycling and cycle storage facilities. Reconfiguration of Remington Road as one-way street, 7 on-street parking spaces, children's play space, public realm improvements and relocation of existing refuse/recycling facilities; namely for amendments to internal layout of homes.	Tania Skelli
Hermitage & Gardens	Approval of details reserved by a condition	HGY/2024/0959	Approve	13/05/2024	Land Opposite 1-24, Remington Road, Tottenham, London	Approval of details pursuant to Condition 8 parts C & D (Land Contamination - Verification Report) attached to planning consent HGY/2021/2882.	Daniel Boama
Highgate	Listed building consent (Alt/Ext)	HGY/2021/2282	Not Determined	22/03/2024	2, High Point 1, North Hill, London, N6 4BA	Listed Building Consent for proposed waterproofing overlay to existing barrel and surrounding flat roofs to Penthouse	Matthew Gunning
Highgate	Approval of details reserved by a condition	HGY/2022/1853	Not Determined	24/04/2024	Former Newstead Nursing Home, Denewood Road, London, N6 4AL	Approval of details pursuant to condition 20 (Living roofs under the proposed solar photovoltaics) attached to planning permission HGY/2018/3205	Valerie Okeiyi

Highgate	Screening Opinion	HGY/2023/0331	Not Required	29/02/2024	Highgate School, North Road, London N6 4AY	Request for a formal screening opinion to confirm if an Environmental Impact Assessment (?EIA?) is required in respect of six applications at Highgate School: HGY/2023/0313 (Junior Field Playing Pitches ? Decant), HGY/2023/0315 (Richards Music Centre), HGY/2023/0316 (Far Field Playing Fields), HGY/2023/0317 (Science Block), HGY/2023/0328 (Dyne House) and HGY/2023/0338 (Mallinson Sports Centre). This request is made in pursuance of Regulation 6 of the Town and Country Planning (Environmental Impact Assessment) Regulations 2017 (as updated).	Samuel Uff
Highgate	Full planning permission	HGY/2023/0448	Refuse	27/02/2024	Winchester Hall Tavern, 206 Archway Road, Hornsey, London, N6 5BA	Provision of condenser units serving split-system Heating/Cooling Heat-Pumps for Public House internal space and Cellar Cooling Heat-Pumps for internal beer cellar. Condenser Units are proposed to be visually disguised with the use of slatted wooden screens, painted to match existed painted brickwork walls.	Nathan Keyte
Highgate	Full planning permission	HGY/2023/0591	Refuse	11/03/2024	Flat A, 87 Southwood Lane, Hornsey, London, N6 5TB	Single storey side extension	Josh Parker
Highgate	Full planning permission	HGY/2023/1153	Approve with Conditions	05/03/2024	4 Wembury Mews, Hornsey, London, N6 5XJ	Extension of lower ground floor 1 bedroom flat to facilitate the creation of a two bedroom flat.	Ben Coffie
Highgate	Full planning permission	HGY/2023/1198	Refuse	08/04/2024	Princess Elizabeth House, 18 Winchester Place, Hornsey, London, N6 5BQ	Installation of PV solar panels to different elements of building roof.	Roland Sheldon
Highgate	Householder planning permission	HGY/2023/1263	Approve with Conditions	14/05/2024	53 Cholmeley Crescent, Hornsey N6 5EX	Re-design and landscaping of rear garden including the creation of tiered garden levels and removal of 2x trees with associated tree planting.	Mercy Oruwari
Highgate	Householder planning permission	HGY/2023/1327	Approve with Conditions	27/03/2024	17 Denewood Road, Hornsey, London, N6 4AQ	Alterations to the existing front boundary treatment; replacement of front door and garage door to accommodate lowered floor level (previous planning permission ref: HGY/2021/1483); introduction of a rendered traditional portico and metal railings to match the proposed front wall in connection with lightwell; addition of a new door to side elevation serving utility with bricking up existing and removal of rear side light well (AMENDED DESCRIPTION).	Josh Parker
Highgate	Full planning permission	HGY/2023/1516	Approve with Conditions	13/03/2024	All Saints Church Of England Church, Church Road, Hornsey, London, N6 4QH	Demolition of an existing timber shed and erection of a new detached crèche building within the church grounds.	Ben Coffie
Highgate	Listed building consent (Alt/Ext)	HGY/2023/1699	Refuse	08/04/2024	Princess Elizabeth House, 18 Winchester Place, Hornsey, London, N6 5BQ	Proposed Installation of PV Solar Panels at roof level.	Roland Sheldon

Highgate	Full planning permission	HGY/2023/2121	Approve with Conditions	09/05/2024	24 Cholmeley Crescent, Hornsey, London, N6 5HA	Demolition of the existing house and construction of a new house of similar appearance, size and footprint with new boundary treatment.	Mercy Oruwari
Highgate	Householder planning permission	HGY/2023/2687	Approve with Conditions	21/03/2024	21 High Point 1, North Hill, Hornsey, London, N6 4BA	Installation of guarding to the terrace of flat 21	Mercy Oruwari
Highgate	Householder planning permission	HGY/2023/2886	Refuse	28/03/2024	Flat A, 30 Shepherds Hill, Hornsey, London, N6 5AH	Demolition of existing garage, and construction of new 3 storey self-contained 4 bed house with basement and rear living terrace, with associated vegetation removal and ancillary works.	Nathan Keyte
Highgate	Householder planning permission	HGY/2023/2897	Approve with Conditions	19/03/2024	45 High Sheldon, Sheldon Avenue, Hornsey, London, N6 4NJ	Refurbishment of Flat 45 at 7th floor level, including the replacement of existing balcony balustrades with new glazed balustrades, replacement of existing balcony doors with new sliding doors, installation of a new skylight and installation of high-wind loads balustrades and green roof terrace on the existing roof terrace. (AMENDED PLANS).	Mercy Oruwari
Highgate	Listed building consent (Alt/Ext)	HGY/2023/2964	Approve with Conditions	21/03/2024	21 High Point 1, North Hill, Hornsey, London, N6 4BA	Listed Building Consent for the installation of guarding to the terrace of Flat No. 21.	Mercy Oruwari
Highgate	Householder planning permission	HGY/2023/2980	Approve with Conditions	22/03/2024	12A View Road, Hornsey, London, N6 4DB	Erection of outbuilding in garden for use as garden room.	Sabelle Adjagboni
Highgate	Householder planning permission	HGY/2023/3026	Approve with Conditions	28/03/2024	Flat 2, 9 Langdon Park Road, Hornsey, London, N6 5PS	Construction of a first floor rear roof terrace with 1.8m high timber and opaque glazed screening and a 1.1m high opaque glazed balustrade. AMENDED DESCRIPTION	Mercy Oruwari
Highgate	Householder planning permission	HGY/2023/3043	Refuse	22/04/2024	84 Highgate High Street, Hornsey, London, N6 5HX	Demolition of existing rear garden outbuilding and erection of a new rear garden outbuilding for storage, exercise and meditation.	Nathan Keyte
Highgate	Householder planning permission	HGY/2023/3109	Approve with Conditions	15/03/2024	28 Hornsey Lane Gardens, Hornsey, London, N6 5PB	Erection of a two storey rear extension previously granted permission by appeal decision dated 24th March 2023 (PIN's Ref: APP/Y5420/D/22/3310714, LBH Ref: HGY/2022/2136) together with the proposed raising of the roof height of the extended house and erection of a new rear dormer extension (resubmission). Alterations inc. proposed increased raised ridge height by extra 400mm and removal of 1no. side rooflight. Alteration to landscaping and stair access at the front garden. (AMENDED DESCRIPTION)	Daniel Boama
Highgate	Householder planning permission	HGY/2023/3168	Approve with Conditions	04/03/2024	95 North Hill, Hornsey, London, N6 4BS	Formation of rear dormer, replace front door and reinstatement of side return sash window (amended).	Josh Parker
Highgate	Full planning permission	HGY/2023/3217	Refuse	05/04/2024	28 Shepherds Close (site adj. No 27 Shepherds Close), London N6 5AG	Erection of a detached part single, part two storey, 3-bedroom single-dwelling-house	Nathan Keyte

Highgate	Householder planning permission	HGY/2023/3305	Approve with Conditions	26/02/2024	The Penthouse, Broadlands Lodge, 18 Broadlands Road, Hornsey, London, N6 4AW	Installation of inner row of rooftop guardings to provide a compliant height	Roland Sheldon
Highgate	Householder planning permission	HGY/2023/3310	Approve with Conditions	29/02/2024	4A Wembury Mews, Hornsey, London, N6 5XJ	Replacement of roof covering incorporating roof lights and glass roof above courtyard; relocation of the entrance door and new windows from Wembury Mews; and internal alterations (AMENDED PLANS).	Nathan Keyte
Highgate	Householder planning permission	HGY/2023/3348	Approve with Conditions	12/03/2024	43 Cholmeley Park, Hornsey, London, N6 5EL	Replacement of first floor casement windows on front elevation above entrance, replacement of 2 front rooflights, replacement of existing rear French doors with new timber French doors, replacement of first floor rear windows with double glazed timber framed units, alterations to side elevation fenestration and replacement of side rooflights.	Roland Sheldon
Highgate	Full planning permission	HGY/2023/3351	Approve with Conditions	22/03/2024	Oak Lawn, Compton Avenue, Hornsey, London, N6 4LB	Demolition and replacement of the existing house.	Ben Coffie
Highgate	Householder planning permission	HGY/2023/3393	Approve with Conditions	26/03/2024	First Floor Flat, 59 Hornsey Lane Gardens, Hornsey, London, N6 5PA	Addition of rooflight to front roof	Mercy Oruwari
Highgate	Lawful development: Proposed use	HGY/2023/3403	Approve	11/03/2024	47 Jacksons Lane, Hornsey, London, N6 5SR	Certificate of lawfulness for alterations to existing outbuilding/cottage, including external repainting and changing the doors and windows.	Eunice Huang
Highgate	Full planning permission	HGY/2024/0001	Approve with Conditions	27/03/2024	Flat B, 17 North Grove, Hornsey, London, N6 4SH	Demolition of existing conservatory on lower ground level, erection of single-storey replacement rear extension, and alteration to existing lower-ground side window in rear bay and other internal alterations.	Eunice Huang
Highgate	Listed building consent (Alt/Ext)	HGY/2024/0012	Refuse	22/04/2024	84 Highgate High Street, Hornsey, London, N6 5HX	Demolition of existing rear garden outbuilding within curtilage of a Grade II Listed Building, involving works to boundary wall, and erection of a new rear garden outbuilding for storage, exercise and meditation. (Note: there is a related planning application HGY/2023/3043 for the same works).	Nathan Keyte
Highgate	Householder planning permission	HGY/2024/0021	Approve with Conditions	26/03/2024	3 Talbot Road, Hornsey, London, N6 4QS	Alterations to front boundary wall and gates, erection of side gate and bin store and repair of existing side store.	Josh Parker
Highgate	Full planning permission	HGY/2024/0028	Approve with Conditions	03/05/2024	1 Townsend Yard, Hornsey, London, N6 5JF	Demolition and re-building of the existing glasshouse together with some minor modifications to the site entrance area.	Roland Sheldon

Highgate	Removal/variation of conditions	HGY/2024/0073	Refuse	06/03/2024	27 Aylmer Road, Hornsey, London, N2 0BS	Variation of condition 2 (approved plans) attached to planning permission HGY/2022/3947 to amend the approved scheme to remove two-storey front projecting bay, remove two front dormer windows and front roof window, add front rooflights, change front fenestration, porch design and soft landscaping, and relocate garage and car lift.	Eunice Huang
Highgate	Full planning permission	HGY/2024/0129	Approve with Conditions	13/03/2024	Flat 2, 228 Archway Road, Hornsey, London, N6 5AX	Replacement of existing rear elevation ground floor window with french doors to facilitate garden access	Sabelle Adjagboni
Highgate	Householder planning permission	HGY/2024/0150	Approve with Conditions	26/04/2024	Second Floor Flat, 278 Archway Road, Hornsey, London, N6 5AU	Erection of rear dormer, installation of one front roof light.	Emily Whittredge
Highgate	Listed building consent (Alt/Ext)	HGY/2024/0152	Approve with Conditions	12/04/2024	Hillside, 51 Jacksons Lane, Hornsey, London, N6 5SR	Listed Building Consent for works to basement area involving repair and decoration to address damage.	Matthew Gunning
Highgate	Listed building consent (Alt/Ext)	HGY/2024/0164	Approve with Conditions	18/03/2024	7 High Point 1, North Hill, Hornsey, London, N6 4BA	Replacement of original "Highpoint" edition WC	Josh Parker
Highgate	Householder planning permission	HGY/2024/0189	Approve with Conditions	25/04/2024	112 Southwood Lane, Hornsey, London, N6 5SY	Replacement of existing uPVC, metal, and timber windows and rear doors with new matching white powder coated aluminium triple glazed windows and rear doors (Amended Description)	Iliyan Topalov
Highgate	Householder planning permission	HGY/2024/0237	Approve with Conditions	26/03/2024	Imperial Court, 36 Shepherds Hill, Hornsey, London, N6 5WA	Replacement of two existing garage roofs with new corrugated metal roofs.	Mercy Oruwari
Highgate	Consent under Tree Preservation Orders	HGY/2024/0247	Approve with Conditions	12/03/2024	16 Broadlands Road, Hornsey, London, N6 4AN	Works to tree protected by a TPO T1 Horse Chestnut - reduce to previous points = 1 metre regrowth. Reason - routine maintenance of the tree	Daniel Monk
Highgate	Householder planning permission	HGY/2024/0249	Approve with Conditions	07/03/2024	15 Broadlands Road, Hornsey, London, N6 4AE	Installation of 1 air conditioning condenser unit in the rear garden.	Roland Sheldon
Highgate	Householder planning permission	HGY/2024/0261	Approve with Conditions	26/03/2024	46 Sheldon Avenue, Hornsey, London, N6 4JR	Demolition of 2no existing side extensions, the construction of replacement rear and side extensions, and the replacement of all single-glazed windows/doors with double-glazed units to match, including the ground floor rear study and the master bedroom doors/windows.	Sarah Madondo
Highgate	Householder planning permission	HGY/2024/0269	Refuse	27/03/2024	22, Kingsley Place, London, N6 5EA	Erection of single storey rear extension with courtyard	Nathan Keyte
Highgate	Lawful development: Existing use	HGY/2024/0333	Approve	10/04/2024	Flat 3, 1 Jacksons Lane, Hornsey, London, N6 5SR	Certificate of Lawfulness of existing use for the replacement of timber-framed windows with double glazed timber-framed windows to match originals on the first floor of a three storey building, in a Conservation Area.	Daniel Boama
Highgate	Householder planning permission	HGY/2024/0375	Approve with Conditions	09/04/2024	Flat 1 Cromer House, 2 The Park, Hornsey, London, N6 4JJ	Removal of existing door on the property's rear elevation and its replacement with a new timber patio door and windows, and the insertion of one high level window on the side elevation.	Mercy Oruwari

Highgate	Householder planning permission	HGY/2024/0386	Approve with Conditions	16/04/2024	Flat A, 431 Archway Road, Hornsey, London, N6 4HT	Replacement of front and rear windows and new rear double door to ground floor flat.	Roland Sheldon
Highgate	Householder planning permission	HGY/2024/0440	Approve with Conditions	10/05/2024	Flat A, 30 Shepherds Hill, Hornsey, London, N6 5AH	Formation of two lightwells to the front of the property, extension of the existing basement and new window configuration to the rear upper ground floor elevation including the addition of a free-standing balcony to upper ground floor.	Nathan Keyte
Highgate	Full planning permission	HGY/2024/0442	Approve with Conditions	02/05/2024	Garden Flat, 32 Milton Avenue, Hornsey, London, N6 5QE	Enlargement of existing basement to create an additional bedroom, storage and bathroom and installation of new lightwell. (AMENDED DESCRIPTION)	Mark Chan
Highgate	Householder planning permission	HGY/2024/0485	Approve with Conditions	19/04/2024	16 Shepherds Close, Hornsey, London, N6 5AG	Front and rear single storey extensions, replacement of existing windows throughout, addition of 2no. rooflights within existing roof fabric and addition of flue.	Mercy Oruwari
Highgate	Householder planning permission	HGY/2024/0500	Refuse	23/04/2024	43 Langdon Park Road, Hornsey, London, N6 5PT	Formation of a rear dormer window and rooflights	Oskar Gregersen
Highgate	Householder planning permission	HGY/2024/0536	Approve with Conditions	30/04/2024	Flat A, 7 Shepherds Hill, Hornsey, London, N6 5QJ	Replacement of existing raised decking to the rear of the property, landscaping of the rear garden and relocation of the side access gate.	Mercy Oruwari
Highgate	Consent under Tree Preservation Orders	HGY/2024/0576	Approve with Conditions	15/05/2024	Tor House, 27 Shepherds Hill, Hornsey, London, N6 5QL	Works to tree protected by a TPO T8709 Sycamore - Reduce height and radial spread back to previous pruning points removing approximately 3m in regrowth reduce. Starting height 16m, spread 11m, leaving a height of 13m and spread 8m. (Works to T0635 Leylandii will be considered separately under application reference HGY/2024/0574, as the tree is not protected by a TPO but is located within a Conservation Area)	Daniel Monk
Highgate	Householder planning permission	HGY/2024/0685	Approve with Conditions	07/05/2024	42 Priory Gardens, Hornsey, London, N6 5QS	Construction of a single storey rear extension.	Ben Coffie
Highgate	Householder planning permission	HGY/2024/0746	Approve with Conditions	07/05/2024	10A Tile Kiln Lane, Hornsey, London, N6 5LG	Proposed 1.8m deep rear extension to the loft level floor space and minor alterations to the roof.	Roland Sheldon
Highgate	Consent under Tree Preservation Orders	HGY/2024/0821	No Objections	25/03/2024	Hillsdown, Courtenay Avenue, Hornsey, London, N6 4LR	Five Day Notice for the specified work. These works are considered to be exempt from statutory control legislation as they appear to be a valid exception under 14 (vii) of the Town & County Planning (Tree Preservation) (England) Regulations 2012. REMOVE T5 Horse Chestnut. Dead diseased tree. Stability is questionable for climbing to remove so need to do it as soon as possible.	Daniel Monk
Highgate	Approval of details reserved by a condition	HGY/2023/1374	Approve	07/05/2024	Bloomfield Court, Bloomfield Road, Hornsey, London, N6 4ES	Approval of details pursuant to Condition 5 (Construction Logistics Plan) attached to Planning permission HGY/2022/2332.	Matthew Gunning

Highgate	Approval of details reserved by a condition	HGY/2023/1774	Approve	14/03/2024	25 Sheldon Avenue, Hornsey, London, N6 4JS	Approval of details pursuant to condition 4 (Method of Construction Statement) attached to planning permission HGY/2023/0078.	Eunice Huang
Highgate	Non-Material Amendment	HGY/2023/2493	Approve	15/03/2024	Land At Townsend Yard, London, N6 5JF	Non-Material Amendment to planning permission HGY/2020/1326 to alter design and layout of Unit 1 to incorporate fire brigade access through an alleyway at ground floor level.	Matthew Gunning
Highgate	Approval of details reserved by a condition	HGY/2023/2676	Approve	30/04/2024	16 Highgate Avenue, Hornsey, London, N6 5SB	Approval of details pursuant to conditions 3 (materials) attached to planning permission HGY/2023/1626.	Eunice Huang
Highgate	Approval of details reserved by a condition	HGY/2023/2825	Approve	12/03/2024	26 Sheldon Avenue, Hornsey, London, N6 4JT	Approval of details reserved by a Partial Discharge Condition 7 (Land Contamination), Full Discharge Condition 8 (Unexpected Contamination) and Full Discharge Condition 9 (NRM) attached to planning permission HGY/2023/0630.	Kwaku Bossman-Gyamera
Highgate	Approval of details reserved by a condition	HGY/2023/2846	Approve	08/03/2024	Flat C, 32-34 Highgate High Street, Hornsey, London, N6 5JG	Approval of details pursuant to conditions 3 (window details), 4 (Material Samples) and 5 (Material Specification) attached to planning permission HGY/2023/0960 granted on 13/10/2023 for the proposed installation of three rooflights and enlargement of existing rear dormer window.	Ben Coffie
Highgate	Approval of details reserved by a condition	HGY/2023/2894	Approve	30/04/2024	16 Highgate Avenue, Hornsey, London, N6 5SB	Approval of details pursuant to conditions 4 (stained glass details) and 5 (gate details) attached to planning permission HGY/2023/1626.	Eunice Huang
Highgate	Non-Material Amendment	HGY/2023/3323	Approve	04/04/2024	69 Cromwell Avenue, Hornsey, N6 5HS	Non-Material Amendment application following the grant of planning permission HGY/2022/4004 for the amalgamation of four residential flats into one dwellinghouse, including the construction of new rear and basement extensions and other ancillary works. The amendments being sought are for an increase in the size of the approved lower ground floor/basement extension.	Neil McClellan
Highgate	Approval of details reserved by a condition	HGY/2023/3391	Approve	15/05/2024	25 Sheldon Avenue, Hornsey, London, N6 4JS	Approval of details pursuant to conditions 3 (materials and details) attached to planning permission HGY/2023/0078.	Eunice Huang

Highgate	Non-Material Amendment	HGY/2024/0025	Approve	28/03/2024	Oakleigh, 42 Hampstead Lane, Hornsey, London, N6 4LL	Non-Material Amendment to approved development HGY/2019/2944 (Demolition of existing house and erection of replacement dwelling and associated works.) for Amended door and window positioning, roof lights repositioned, Updated orangery composition, updated chimney, ground/first floor quoins changed to stone and central rear quoins omitted.	Oskar Gregersen
Highgate	Consent under Tree Preservation Orders	HGY/2024/0083	Approve with Conditions	11/03/2024	Highgate Junior School, 3 Bishopswood Road , Highgate, London, N6 4PL	Works to tree protected by a TPO. T2: Holm oak (12m): Reduce on building side by 2m to give clearance on building side for erection of scaffolding (Works to T1: Red Oak and T3: Cherry will be considered separately under application ref. HGY/2024/0085, as the trees are within a Conservation Area but not protected by a TPO)	Daniel Monk
Highgate	Approval of details reserved by a condition	HGY/2024/0144	Refuse	28/03/2024	11 View Road, Hornsey, London, N6 4DJ	Details pursuant to condition 4 (materials) of planning application ref. HGY/2023/0441 granted on 31st July 2023 for the demolition of existing pair of semi-detached dwellings and replacement with a new two storey dwelling with accommodation in the roof.	Roland Sheldon
Highgate	Consent under Tree Preservation Orders	HGY/2024/0254	Approve with Conditions	22/03/2024	Flat 1, 16 Shepherds Hill, Hornsey, London, N6 5AQ	Works to tree protected by a TPO. T2 - Mature Sycamore Tree, around 20 meters tall and spread of 14 meters looking to lighten up side laterals slightly where required helping to reduce weight from branches will be around a 2 meter reduction, ensure branches wont snap out if the coming future, (Works to T1 - Medium Size Cherry - will be considered separately under application reference HGY/2024/0257 as the tree is within a Conservation Area but not protected by a TPO)	Daniel Monk
Highgate	Approval of details reserved by a condition	HGY/2024/0277	Approve	15/04/2024	69 Cromwell Avenue, Hornsey, London, N6 5HS	Details pursuant to conditions 4 (basement method statement), 5 (details of chartered engineer) and 6 (construction management plan) of planning permission HGY/2022/4004.	Roland Sheldon
Highgate	Non-Material Amendment	HGY/2024/0289	Approve	22/03/2024	20 Priory Gardens, Hornsey, London, N6 5QS	Non-material amendment to planning permission HGY/2022/0872 to change a window opening to a door on the rear elevation (amended description).	Nathan Keyte

Highgate	Consent under Tree Preservation Orders	HGY/2024/0301	Approve with Conditions	25/03/2024	Townsend Yard Nurseries, Townsend Yard, Hornsey, London, N6 5JF	Works to trees protected by a Group TPO. G1: Group of Sycamore: Approximately 16.00m-18.00m: Reduce lateral and sub lateral growth growing over boundary and beginning to encroach over glass house, back up to approximately 2.50m, selecting viable secondary furnishing growth where practicable and pruning back to growth points where not. Remove one larger low branch approximately 15.-20cm diameter, which protrudes from the group crown line. Control encroachment/general maintenance.	Daniel Monk
Highgate	Consent under Tree Preservation Orders	HGY/2024/0330	Approve with Conditions	16/04/2024	32 Stanhope Road, Hornsey, London, N6 5NG	Works to tree protected by a TPO Horse Chestnut (T1): Reduce eastern aspect of crown by 3-4m, selectively reduce over-longs to shape in remainder of crown (approx. 1-2m) and thin by 15% to mitigate windsail and excessive loading on eastern side which exhibits a pronounced lean in the same direction. Work is also to protect the health and stability of trees to be retained on the site, and to ensure that a satisfactory standard of visual amenity is provided and maintained. All specified work is within good arboricultural practice and husbandry.	Daniel Monk

Highgate	Consent under Tree Preservation Orders	HGY/2024/0350	Approve with Conditions	03/04/2024	Red House, Compton Avenue, Hornsey, London, N6 4LB	T1 Lime Tree - The lime tree situated along the border between the main road and the property underwent partial trimming during the last maintenance session. Notably, the side of the tree facing the property and its upper branches were trimmed, while the side facing the road remained untouched due to its increased difficulty of access. In the upcoming maintenance session, we propose a more comprehensive approach. Our aim is to reduce the overhang towards the roadside by approximately 3 to 4 meters, prioritizing public safety. Additionally, we intend to trim the portion facing the property back to its previous extent, approximately 2.4 meters, restoring its previous appearance and managing its growth accordingly. And we would like the tree have the same shape on both sides, thank you. T2 Lime Tree - (same situation as T1)The lime tree situated along the border between the main road and the property underwent partial trimming during the last maintenance session. Notably, the side of the tree facing the property and its upper branches were trimmed, while the side facing the road remained untouched due to its increased difficulty of access. In the upcoming maintenance session, we propose	Daniel Monk
Highgate	Approval of details reserved by a condition	HGY/2024/0409	Approve	17/05/2024	44-46 Hampstead Lane, London, N6 4LL	Approval of details reserved condition 15 (Construction Ecological Management Plan) of planning permission HGY/2022/2731 for demolition of the existing dwellings and erection of new care home (Use Class C2)	Samuel Uff
Highgate	Approval of details reserved by a condition	HGY/2024/0431	Approve	08/05/2024	44-46 Hampstead Lane, London, N6 4LL	Approval of details reserved condition 11 (Contamination) of planning permission HGY/2022/2731 for demolition of the existing dwellings and erection of new care home (Use Class C2)	Samuel Uff
Highgate	Approval of details reserved by a condition	HGY/2024/0432	Approve	21/03/2024	44-46 Hampstead Lane, London, N6 4LL	Approval of details reserved condition 18 (Arborocultural Method Statement) of planning permission HGY/2022/2731 for demolition of the existing dwellings and erection of new care home (Use Class C2)	Samuel Uff
Highgate	Consent under Tree Preservation Orders	HGY/2024/0439	Refuse	14/05/2024	15 Denewood Road, Hornsey, London, N6 4AQ	Works to tree protected by a TPO (part of G.55 in the Hornsey Tree Preservation Order No 1 1954) T1: Austrian Pine (22m): Reduce by up to 2.5m over driveway and reduce back by up to 1m from the house to reduce the risk of failure as some branches have snapped out recently and as part of regular maintenance	Daniel Monk

Highgate	Non-Material Amendment	HGY/2024/0458	Approve	23/04/2024	35 Gaskell Road, Hornsey, London, N6 4DU	Non-Material Amendment to planning permission HGY/2021/0528 to alter glazing to dormer roof extension , including 3 front velux windows and a flat skylight.	Eunice Huang
Highgate	Approval of details reserved by a condition	HGY/2024/0483	Approve	24/04/2024	11 View Road, Hornsey, London, N6 4DJ	Details pursuant to condition 3 (detailed windows & doors drawings, and details of down pipes, rainwater/foul pipes & vents) of planning permission HGY/2023/0441.	Roland Sheldon
Highgate	Consent under Tree Preservation Orders	HGY/2024/0739	Approve with Conditions	15/05/2024	14 Priory Gardens, Hornsey, London, N6 5QS	Works to tree protected by a TPO. TPO 0629 is a Poplar Proposed works: Crown reduced by approximately 2 metres on all axis Reasons for works: The tree has been pruned on a 5 year circular management process to maintain its health and safety . Due to surrounding trees which have been recently reduced T1 stands higher than these trees and has the potential to be exposed to prevailing winds . Reducing the crown should abate any potential failures.	Daniel Monk
Highgate	Approval of details reserved by a condition	HGY/2024/0781	Approve	12/04/2024	44 Hampstead Lane, Hornsey, London, N6 4LL	Approval of details reserved condition 13 (NRMM) of planning permission HGY/2022/2731 for demolition of the existing dwellings and erection of new care home (Use Class C2)	Samuel Uff
Highgate	Non-Material Amendment	HGY/2024/0792	Approve	15/04/2024	64 Sheldon Avenue, Hornsey, London, N6 4ND	Non-material amendment to planning permission HGY/2021/0722 [Variation of condition 2 (approved plans) attached to planning permission HGY/2015/2184 involving alterations to front and rear façades, relocation of courtyard and swimming pool, front lightwells and internal alterations] for changes to internal layout.	Nathan Keyte
Highgate	Approval of details reserved by a condition	HGY/2024/0794	Approve	14/05/2024	64 Talbot Road, Hornsey, London, N6 4RA	Approval of details pursuant to condition 3 (design and materials) attached to planning permission ref. HGY/2023/3062 for Rear dormer roof extension; installation of 3 x conservation rooflights to front roofslope; replacement of front windows with timber double glazed slim line windows; replacement and alteration of existing rear windows and doors with double glazed timber windows and doors; and other changes.	Nathan Keyte

Highgate	Non-Material Amendment	HGY/2024/1075	Approve	14/05/2024	Oakleigh, 42 Hampstead Lane, Hornsey, London, N6 4LL	Non-Material Amendment to approved development HGY/2019/2944 (Demolition of existing house and erection of replacement dwelling and associated works) for window omitted from west elevation. Chimney position adjusted	Oskar Gregersen
Highgate	Non-Material Amendment	HGY/2024/1256	Approve	07/05/2024	Oakleigh, 42 Hampstead Lane, Hornsey, London, N6 4LL	Non-material amendments to planning permission reference HGY/2019/2944 dated 15/01/2021 for demolition of existing house and erection of replacement dwelling and associated works; namely alterations landscaping implementation period (condition 4).	Oskar Gregersen
Highgate	Lawful development: Existing use	HGY/2024/1080	Approve	02/05/2024	175, Ground Floor Flat, Archway Road, London, N6 5BL	Certificate of Lawful Development for the existing use of the rear ground floor as a self-contained one-bedroom flat	Iliyan Topalov
Hornsey	Full planning permission	HGY/2022/2116	Approve with Conditions	29/02/2024	Hornsey Police Station, 98, Tottenham Lane, London, N8 7EJ	Retention of existing Police Station building (Block A) with internal refurbishment, rear extensions and loft conversions to create 6 terrace houses and 4 flats. Erection of two buildings comprising of Block C along Glebe Road and Harold Road to create 8 flats and erection of Block B along Tottenham Lane and towards the rear of Tottenham Lane to create 7 flats and 4 mews houses including landscaping and other associated works	Valerie Okelyi
Hornsey	Householder planning permission	HGY/2023/1490	Approve with Conditions	28/03/2024	43 Tottenham Lane, Hornsey, London, N8 9BD	Installation of 2 no air conditioning units, removal of windows from rear elevation and extension of roof terrace	Ben Coffie
Hornsey	Full planning permission	HGY/2023/2184	Approve with Conditions	09/04/2024	40a-44 Tottenham Lane, Hornsey, London, N8 7EA	Retrospective application for erection of a ground floor rear canopy, with proposed alterations to enclose the rear face of the canopy to create a single storey rear extension, alterations at rear ground floor level and amendment to an extraction flue (revised description).	Roland Sheldon
Hornsey	Lawful development: Proposed use	HGY/2023/2712	Approve with Conditions	09/04/2024	4 Chestnut Avenue, Hornsey, London, N8 8NY	Certificate of lawfulness for the proposed replacement of a window in the existing rear dormer with a door/juliette balcony.	Josh Parker
Hornsey	Full planning permission	HGY/2023/2855	Approve with Conditions	14/03/2024	21 Harvey Road, Hornsey, London, N8 9PD	Replaces the existing timber sash windows with modern thick profile double glazed uPVC units.	Josh Parker
Hornsey	Full planning permission	HGY/2023/2856	Approve with Conditions	14/03/2024	36 Harvey Road, Hornsey, London, N8 9PA	Replaces the existing timber sash windows with modern thick profile double glazed uPVC units.	Josh Parker

Hornsey	Full planning permission	HGY/2023/3104	Approve with Conditions	25/04/2024	22 Harvey Road, Hornsey, London, N8 9PA	Replacement of single glazed timber windows with double glazed uPVC units on the front ground and first floor elevations, finished in a white foil to match the existing windows. Replacement of first floor timber balcony door with new uPVC panel door.	Eunice Huang
Hornsey	Lawful development: Proposed use	HGY/2024/0062	Permitted Development	04/03/2024	17 Rectory Gardens, Hornsey, London, N8 7PJ	Certificate of lawfulness for a proposed loft conversion comprising a hip to gable roof extension, rear dormer and three front rooflights.	Ben Coffie
Hornsey	Lawful development: Proposed use	HGY/2024/0069	Approve	05/03/2024	129 Rathcoole Gardens, Hornsey, London, N8 9PH	Certificate of lawfulness for a loft conversion including the insertion of 2x front rooflights only.	Mercy Oruwari
Hornsey	Householder planning permission	HGY/2024/0082	Approve with Conditions	13/03/2024	8 Harvey Road, Hornsey, London, N8 9PA	Replacement of existing timber framed windows with double glazed uPVC units on front and rear elevations.	Roland Sheldon
Hornsey	Householder planning permission	HGY/2024/0095	Approve with Conditions	08/03/2024	Flat A, 139 Inderwick Road, Hornsey, London, N8 9JR	Loft conversion with erection of an L-shaped rear dormer, insertion of 2no. front rooflights, and 1no. rear facing Juliet balcony at the first floor level flat.	Daniel Boama
Hornsey	Full planning permission	HGY/2024/0102	Approve with Conditions	11/03/2024	Flat A, 96 North View Road, Hornsey, London, N8 7LP	Removal of chimney stack at rear of outrigger, new rooflights and change of position of window in side elevation of rear room of outrigger from portrait to landscape.	Ben Coffie
Hornsey	Householder planning permission	HGY/2024/0127	Approve with Conditions	21/03/2024	262 Park Road, Hornsey, London, N8 8JY	Erection of single-storey rear extension, removal of boxing to reinstate front facade as original, construction of rear dormer extension and associated rooflights to front roof slopes and replacement sash windows (amended description).	Nathan Keyte
Hornsey	Full planning permission	HGY/2024/0130	Refuse	28/03/2024	Flat 1, 89 Priory Road, Hornsey, London, N8 8LY	Single storey ground floor rear, side return extension and internal alterations to existing dwelling to provide additional space for living accommodation and a 3rd bedroom.	Eunice Huang
Hornsey	Full planning permission	HGY/2024/0160	Approve with Conditions	15/03/2024	Flat A, 136 North View Road, Hornsey, London, N8 7LP	Loft conversion with rear facing dormer, removal of 2 chimneys, insertion of rooflights into existing roof and alterations to openings to rear elevation.	Sabelle Adjagboni
Hornsey	Householder planning permission	HGY/2024/0170	Approve with Conditions	28/02/2024	111A North View Road, Hornsey, London, N8 7LR	Removal of 2x chimney stacks and breasts on rear roof. Alteration of 1x timber-framed double glazed non-opening window to recessed rear section of building. Addition of 1x triangular window to rear of building Non-opening, timber-framed, double-glazed. Adding 2x double-glazed Velux windows to rear roof	Roland Sheldon
Hornsey	Lawful development: Proposed use	HGY/2024/0186	Approve	12/04/2024	3 Myddelton Road, Hornsey, London, N8 7PY	Certificate of Lawfulness: proposed use for the erection of single storey rear/infill extensions.	Mercy Oruwari

Hornsey	Householder planning permission	HGY/2024/0192	Approve with Conditions	19/03/2024	96A Priory Road, Hornsey, London, N8 7EY	Installation of externally applied insulation to building.	Mercy Oruwari
Hornsey	Full planning permission	HGY/2024/0193	Approve with Conditions	14/03/2024	Shop, 69 Tottenham Lane, Hornsey, London, N8 9BE	Erection of single storey ground floor side infill rear extension.	Roland Sheldon
Hornsey	Full planning permission	HGY/2024/0226	Approve with Conditions	26/03/2024	Ground Floor Flat, 18 Redston Road, Hornsey, London, N8 7HJ	Erection of a garden rear garden room 3.3m x 5m to replace a garden room of similar size.	Oskar Gregersen
Hornsey	Full planning permission	HGY/2024/0243	Approve with Conditions	15/04/2024	39 Harvey Road, Hornsey, London, N8 9PD	Replacement of existing timber sash windows with double glazed uPVC windows.	Mark Chan
Hornsey	Full planning permission	HGY/2024/0244	Approve with Conditions	15/04/2024	146 Nelson Road, Hornsey, London, N8 9RN	Replacement of existing timber sash windows with double glazed uPVC windows.	Mark Chan
Hornsey	Householder planning permission	HGY/2024/0267	Approve with Conditions	07/03/2024	2 Hermiston Court, Hermiston Avenue, Hornsey, London, N8 8NN	Erection of single storey ground floor side-to-rear extension and erection of front porch.	Roland Sheldon
Hornsey	Householder planning permission	HGY/2024/0342	Approve with Conditions	02/04/2024	89 Nightingale Lane, Hornsey, London, N8 7QY	Erection of a single-storey rear extension	Zara Seelig
Hornsey	Householder planning permission	HGY/2024/0366	Approve with Conditions	10/04/2024	Ground Floor Flat, 13 Hillfield Avenue, Hornsey, London, N8 7DU	Removal of rear side window and rear door, new rear side window and rear folding doors, new window in existing opening with raised cill.	Sabelle Adjagboni
Hornsey	Lawful development: Proposed use	HGY/2024/0379	Approve	11/04/2024	65 Beechwood Road, Hornsey, London, N8 7NE	Changes to the rear and side facade of the outtrigger of the property - Removal of rear door and replacement with a window, removal of small side window.	Gareth Prosser
Hornsey	Lawful development: Proposed use	HGY/2024/0438	Permitted Development	29/02/2024	27 Warner Road, Hornsey, London, N8 7HB	Certificate of Lawful Development (Proposed Use) for the replacement of the rear ground floor door and window with sliding doors.	Iliyan Topalov
Hornsey	Lawful development: Proposed use	HGY/2024/0502	Permitted Development	23/04/2024	8 Priory Avenue, Hornsey, London, N8 7RN	Certificate of Lawfulness: Proposed use. Formation of rear dormer roof extension to facilitate loft conversion with installation of No.2 roof lights in the front slope	Oskar Gregersen
Hornsey	Lawful development: Proposed use	HGY/2024/0512	Permitted Development	03/05/2024	16 Farrer Road, Hornsey, London, N8 8LB	Certificate of Lawfulness for a proposed loft conversion.	Sabelle Adjagboni
Hornsey	Lawful development: Proposed use	HGY/2024/0629	Permitted Development	14/03/2024	12 Elmfield Avenue, Hornsey, London, N8 8QG	Certificate of Lawful Development (Proposed) for the erection of a rear dormer and the insertion of three front rooflights	Iliyan Topalov
Hornsey	Lawful development: Proposed use	HGY/2024/0665	Permitted Development	03/05/2024	2 Oak Avenue, Hornsey, London, N8 8LJ	Lawful certificate for proposed hip to gable roof alteration with rear dormer on the main roof and 5no. roof lights to the front roof slope.	Kwaku Bossman-Gyamera
Hornsey	Lawful development: Proposed use	HGY/2024/0775	Permitted Development	05/04/2024	12 Rectory Gardens, Hornsey, London, N8 7PJ	Certificate of Lawful Development (Proposed Use) for the erection of a rear dormer extension on the main roof	Iliyan Topalov
Hornsey	Lawful development: Proposed use	HGY/2024/0906	Permitted Development	25/04/2024	26 Clovelly Road, Hornsey, London, N8 7RH	Certificate of Lawful Development (Proposed) for the replacement of the timber window frames with new matching timber frames, replacing the current cladding with rendered external wall insulation, installation of solar panels, installation of air source heat pump	Iliyan Topalov

Hornsey	Prior approval Part 1 Class A.1(ea): Larger home extension	HGY/2024/0886	Refuse	09/05/2024	26 Clovelly Road, Hornsey, London, N8 7RH	Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 3.3m and for which the height of the eaves would be 3.1m	Sabelle Adjagboni
Hornsey	Approval of details reserved by a condition	HGY/2023/1371	Approve	17/05/2024	Car Dealership, 23-23A High Street, Hornsey, London, N8 7QB	Approval of details pursuant to conditions 3 (materials), 4 (front elevation details), 5 (boundary treatments and landscaping), 6 (screen planting and fencing), 7 (refuse storage and collection), 8 (cycle store), 13 (central aerial dish system), 18 (green roof), 19 (energy statement) attached to planning permission HGY/2020/0590.	Eunice Huang
Hornsey	Approval of details reserved by a condition	HGY/2024/0220	Approve	18/04/2024	47 Tottenham Lane, Hornsey, London, N8 9BD	Approval of details pursuant to condition 3 (Cycle Storage) attached to planning application ref: HGY/2020/0817.	Mark Chan
Hornsey	Non-Material Amendment	HGY/2024/0966	Refuse	17/04/2024	33 Priory Road, Hornsey, London, N8 8LP	Non-material amendment to planning permission HGY/2020/3178: - Reduction in size of basement plan and overall floorspace of planning unit.	Roland Sheldon
Muswell Hill	Full planning permission	HGY/2023/1406	Approve with Conditions	26/04/2024	10 Ellington Road, Hornsey, London, N10 3DG	Demolition of the existing buildings and erection of 5 replacement residential units, arranged as two terraced houses and three flats.	Josh Parker
Muswell Hill	Full planning permission	HGY/2023/1854	Approve with Conditions	14/05/2024	412 Muswell Hill Broadway, Hornsey, London, N10 1DJ	Redevelopment of existing first and second floor of front block and first floor of rear block, including demolition. Change of use of front block first and second floor and portion of rear block first floor of existing building to residential use, to provide 7 flats above the commercial unit, located at the ground floor and rear portion of 1st floor. Works include refuse, cycle, amenity space, changes to elevations and removal of service lifts.	Eunice Huang
Muswell Hill	Full planning permission	HGY/2023/2202	Approve with Conditions	28/03/2024	13 Onslow Gardens, Hornsey, London, N10 3JT	Retention of use of the property as a large HMO (sui generis), including its reduction from 8 bed 16 person HMO to 7-bed 9 person HMO.	Roland Sheldon
Muswell Hill	Householder planning permission	HGY/2023/2500	Approve with Conditions	07/05/2024	33 Muswell Hill, Hornsey, London, N10 3PR	Proposed single storey infill rear extension; rooflights; replacement of existing windows with proposed timber double glazed windows to match the existing.	Nathan Keyte
Muswell Hill	Householder planning permission	HGY/2023/2695	Approve with Conditions	06/03/2024	15 Onslow Gardens, Hornsey, London, N10 3JT	Formation of new crossover and off street parking to front of property	Ben Coffie
Muswell Hill	Lawful development: Proposed use	HGY/2023/3187	Approve	27/02/2024	95 Wood Vale, Hornsey, London, N10 3DL	Proposed rear garden outbuilding to be considered against General Permitted Development Order 2015.	Josh Parker

Muswell Hill	Householder planning permission	HGY/2023/3202	Approve with Conditions	08/05/2024	68 Etheldene Avenue, Hornsey, London, N10 3QB	Ground floor rear extension following the removal of existing ground floor structure	Eunice Huang
Muswell Hill	Householder planning permission	HGY/2024/0066	Approve with Conditions	05/03/2024	23 Church Crescent, Hornsey, London, N10 3NA	Installation of bin store to front garden to house 4no. bins. Reinstatement of door and trellis to side entrance and addition of door to No. 25. Timber fence panels installed on boundary line between No.23 and No.25.	Oskar Gregersen
Muswell Hill	Full planning permission	HGY/2024/0273	Approve with Conditions	28/03/2024	Flat 1, 67 Muswell Hill, Hornsey, London, N10 3PN	Rear ground floor single storey extension.	Emily Whittredge
Muswell Hill	Householder planning permission	HGY/2024/0356	Approve with Conditions	08/04/2024	3 Springfield Avenue, Hornsey, London, N10 3SU	Insertion of 2 roof lights on the front elevation and 1 roof light on the rear elevation	Mercy Oruwari
Muswell Hill	Householder planning permission	HGY/2024/0374	Approve with Conditions	26/04/2024	4 Wellfield Avenue, Hornsey, London, N10 2EA	Alteration to existing rear extension, cladding, fenestration, rooflights, and second floor dormer window, installation of Juliet balcony and new rooflights, and replacement of front windows. (AMENDED DESCRIPTION)	Mark Chan
Muswell Hill	Full planning permission	HGY/2024/0489	Approve with Conditions	22/04/2024	32 Hillfield Park, Hornsey, London, N10 3QS	Amalgamation of 2no residential flats to 1no dwelling, installation of 2no new conservation style rooflights to existing pitched roof, removal of chimney and minor external alterations existing rear extensions including new brickwork, new roof, windows and doors.	Ben Coffie
Muswell Hill	Full planning permission	HGY/2024/0566	Approve with Conditions	29/04/2024	Flats 3 and 4, 30 Church Crescent, Hornsey, LONDON, N10 3NE	Removal and replacement of existing conservatory construction at first floor level. Removal and replacement of ground floor single storey rear extension, with masonry to match the existing building.	Josh Parker
Muswell Hill	Householder planning permission	HGY/2024/0662	Approve with Conditions	09/05/2024	Flat D, 31 Woodland Gardens, Hornsey, London, N10 3UE	Construction of a roof terrace above the rear outrigger at second/loft floor level.	Daniel Boama
Muswell Hill	Householder planning permission	HGY/2024/0666	Approve with Conditions	10/05/2024	27 Rookfield Avenue, Hornsey, London, N10 3TS	Installation of replacement conservatory to the rear.	Emily Whittredge
Muswell Hill	Householder planning permission	HGY/2024/0674	Approve with Conditions	23/04/2024	49 Etheldene Avenue, Hornsey, London, N10 3QE	Erection of single storey ground floor rear extension to replace existing outrigger. Replace door with window at lower ground floor on front elevation.	Roland Sheldon
Muswell Hill	Lawful development: Proposed use	HGY/2024/1033	Permitted Development	02/05/2024	137 Cranley Gardens, Hornsey, London, N10 3AG	Certificate of Lawful Development (Proposed) for the formation of a hip-to-gable roof extension, insertion of 3x front facing and 3x rear facing rooflights	Iliyan Topalov
Muswell Hill	Approval of details reserved by a condition	HGY/2023/2569	Approve	14/03/2024	4 The Chine, Hornsey, London, N10 3QA	Approval of details pursuant to condition 4 (details of the ring beam foundation design or an alternative suitable foundation design) attached to planning permission HGY/2021/1119	Eunice Huang

Muswell Hill	Consent under Tree Preservation Orders	HGY/2024/0047	Approve with Conditions	11/03/2024	19C Woodland Rise, Hornsey, London, N10 3UP	Works to trees protected by a TPO. T1: Lime (6m): Re-pollard to previous points removing 1.5m of growth as part of regular maintenance and to keep trees at a size suitable for their location T2: Lime (5.5m): Re-pollard to previous points removing 1m of growth as part of regular maintenance and to keep trees at a size suitable for their location T3: Lime (5.5m): Re-pollard to previous points removing 1m of growth as part of regular maintenance and to keep trees at a size suitable for their location T4: Lime (5m): Re-pollard to previous points removing 1m of growth as part of regular maintenance and to keep trees at a size suitable for their location	Daniel Monk
Muswell Hill	Non-Material Amendment	HGY/2024/0233	Approve	26/02/2024	Flat D, 30 Methuen Park, Hornsey, London, N10 2JS	Non-Material Amendment of ref HGY/2023/2336 to allow for 20cm increase in ceiling clearance to allow for a uniform height for the ceiling. Increase the rooflight size to allow for maintenance.	Josh Parker
Muswell Hill	Approval of details reserved by a condition	HGY/2024/0703	Approve	30/04/2024	54, The Muswell Hill Practice, 54 Muswell Hill, London, N10 3ST	Approval of details for Condition 6 (Privacy screen) and 7 (Cycle storage) of planning permission ref. HGY/2021/0341 granted on 11/03/2021 for the change of use of building to be used as health clinic	Tania Skelli
Noel Park	Approval of details reserved by a condition	HGY/2022/2275	Approve	09/05/2024	Land at the Chocolate Factory and Parma House, 5, Clarendon Road, London, N22 6XJ	Approval of details pursuant to condition 34 partial discharge (Overheating) of planning permission HGY/2017/3020 and pursuant to condition 34 (Overheating) of the first S96a Planning Permission reference HGY/2021/0624 in relation to Block E2 only	Valerie Okeiyi
Noel Park	Approval of details reserved by a condition	HGY/2022/0293	Approve	26/02/2024	Former Petrol Filling Station, 76, Mayes Road, London, N22 6SY	Approval of details pursuant to condition 20 (sound insulation scheme) attached to planning permission HGY/2020/0795	Valerie Okeiyi
Noel Park	Approval of details reserved by a condition	HGY/2022/1630	Approve	01/05/2024	Land at the Chocolate Factory and Parma House, 5, Clarendon Road, London, N22 6XJ	Approval of details pursuant to condition 32 partial discharge (Construction Standard of Energy Network) of planning permission HGY/2017/3020 and pursuant to condition 32 (Construction Standard of Energy Network) of the first S96a Planning Permission reference HGY/2021/0624 in relation to Blocks E2 only	Valerie Okeiyi

Noel Park	Approval of details reserved by a condition	HGY/2022/1629	Approve	09/05/2024	Land at the Chocolate Factory and Parma House, 5, Clarendon Road, London, N22 6XJ	Approval of details pursuant to condition 31 partial discharge (Heating and Hot Water System) of planning permission HGY/2017/3020 and pursuant to condition 31 (Heating and Hot Water System) of the first S96a Planning Permission reference HGY/2021/0624 in relation to Blocks E2 only	Valerie Okeiyi
Noel Park	Lawful development: Existing use	HGY/2022/1722	Not Determined	04/03/2024	1A, Coleraine Road, London, N8 0QJ	Certificate of Lawfulness for existing use as 4 x self contained units	Laina Levassor
Noel Park	Approval of details reserved by a condition	HGY/2022/2735	Approve	17/05/2024	Garages Adj to, 208, Farrant Avenue, London, N22 6PG	Approval of details pursuant to conditions 13 (Secured by Design) attached to application HGY/2021/0095	Gareth Prosser
Noel Park	Approval of details reserved by a condition	HGY/2022/2619	Approve	15/03/2024	Land at Haringey Heartlands, between Hornsey Park Road, Mayes Road., Coburg Road, Western Road and the Kings Cross / East Coast Mainline., Clarendon Gas Works, Olympia Trading Estate, and 57-89 Western Road, London, N8	Approval of details pursuant to conditions 53 - partial discharge (updated energy strategy) of planning permission HGY/2017/3117 relating to Blocks F1, G1, G2, H1, H2, H3, J1, and J2 (known as Phases 4 and 5)	Valerie Okeiyi
Noel Park	Removal/variation of conditions	HGY/2023/0750	Approve with Conditions	15/05/2024	Unit A, 107 Mayes Road, Wood Green, London, N22 6UP	Construction of two additional floors to facilitate the creation of 4 x self-contained flats - Removal/variation of conditions	Ben Coffie
Noel Park	Lawful development: Existing use	HGY/2023/1335	Approve	14/03/2024	Land off Brook Road and, Mayes Road, London, N22	Lawful Development Certificate to confirm compliance with Condition 1 (Commencement) of planning permission ref: HGY/2017/2886 (as amended by s.96A non-material amendment ref: HGY/2022/1076)	Samuel Uff
Noel Park	Full planning permission	HGY/2023/2113	Approve with Conditions	27/02/2024	26 High Road, London N22 6BY	Temporary planning permission for a change of use on the ground floor from retail (use class E) to banqueting hall (use class sui generis) and partial change of use on the first floor from restaurant (use class E) to shisha lounge (use class sui generis). External changes including replacing the windows and doors and internal reconfiguration.	Kwaku Bossman-Gyamera
Noel Park	Householder planning permission	HGY/2023/2323	Approve with Conditions	29/02/2024	183 Gladstone Avenue, Wood Green, London, N22 6LB	Replacement of roof, windows and doors to the front and the rear and fabric repairs. Excludes works for replacement modular pods.	Mercy Oruwari
Noel Park	Householder planning permission	HGY/2023/2330	Approve with Conditions	29/02/2024	168 Gladstone Avenue, Wood Green, London, N22 6LG	Replacement of front/rear roof, windows and doors, plus replacement of rear staircase and fabric repairs. Excludes works for replacement modular pods.	Mercy Oruwari

Noel Park	Removal/variation of conditions	HGY/2023/2436	Approve with Conditions	17/05/2024	Land at the Chocolate Factory and Parma House, 5, Clarendon Road, London, N22 6XJ	Variation of Condition 2 (Approved plans) of planning permission ref: HGY/2017/3020 (Partial demolition, change of use and extension of the Chocolate Factory buildings. Demolition of the remaining buildings and redevelopment to create four new build blocks ranging in height from three up to 18 storeys. Mixed use development comprising 10,657 sq.m (GIA) of commercial floorspace (flexible Use Classes A1, A3, B1, D1 and D2), 230 Class C3 residential units together with associated residential and commercial car parking, public realm works and access. This application is accompanied by an Environmental Impact Assessment.) To change the tenure of the seven market residential units located in Block E2 to affordable housing and amend the affordable housing for Block E2 to include London Affordable Rent.	Valerie Okeiyi
Noel Park	Full planning permission	HGY/2023/2701	Approve with Conditions	09/04/2024	Wood Green Common, Station Road, London N22	Multi-use games court within Wood Green Common	Sarah Madondo
Noel Park	Full planning permission	HGY/2023/2811	Refuse	08/03/2024	10 Brampton Park Road, Wood Green, London, N22 6BG	Demolition of existing small single storey rear infill side extension. Erection of single storey rear infill extension to provide 2no. additional ensuite bedrooms to increase existing 9-bed HMO to 11-bedrooms (11 x 1b1p) and 1no. kitchen. Internal alterations to upper floors inc. 2no additional kitchens and ensuite for all bedrooms, with associated cycle and refuse storage.	Daniel Boama
Noel Park	Householder planning permission	HGY/2023/3074	Approve with Conditions	26/02/2024	37 Park Ridings, Wood Green, London, N8 0LB	Demolition of existing ground floor rear extension and replacement with single storey infill/ rear extension with pitched roofs not extending beyond existing extension.	Nathan Keyte
Noel Park	Lawful development: Proposed use	HGY/2023/3099	Permitted Development	05/04/2024	Portman House, High Road, Wood Green, London, N22 6DF	Certificate of lawfulness for proposed use comprising replacement of existing combustible insulation with a non-combustible mineral wool and finished with a render system to match the existing on the upper floor levels. (AMENDED DESCRIPTION)	Daniel Boama
Noel Park	Lawful development: Existing use	HGY/2023/3331	Refuse	19/03/2024	19 Courcy Road, Wood Green, London, N8 0QH	Certificate of Lawfulness for the existing use of 19 Courcy Road as 5 self-contained studio flats.	Mark Chan

Noel Park	Removal/variation of conditions	HGY/2023/3333	Refuse	13/03/2024	62 Turnpike Lane, Wood Green, London, N8 0PR	Variation of condition 2 (plan numbers) on permission granted under HGY/2022/2221. Variations are: - Alterations to the internal arrangement of the flats, the number and disposition of flats remains as consented - Minor Adjustment to position of new windows on flank elevation - Increase in width of rear dormer and change to elevation treatment - Change of elevation treatment to windows to studio flat rear elevation lower ground floor level - Minor elevational changes to appearance of front dormer - Addition of canopies above new windows to rear elevation - Change to appearance of juliet balconies to rear elevation	Zara Seelig
Noel Park	Full planning permission	HGY/2023/3372	Refuse	26/03/2024	75 Mark Road, Wood Green, London, N22 6PX	Change of use from C3 to C4 (HMO)	Sarah Madondo
Noel Park	Householder planning permission	HGY/2023/3398	Approve with Conditions	12/03/2024	169 Farrant Avenue, Wood Green, London, N22 6PG	Demolition of existing outrigger and infill extension to be replaced by a full width, single storey rear extension.	Sabelle Adjagboni
Noel Park	Change of use	HGY/2024/0005	Refuse	27/02/2024	41 Whymark Avenue, Wood Green, London, N22 6DJ	Change of use from Class C3 Dwelling House to C4 House of Multiple Occupancy: 4 bedrooms for 6 people	Nathan Keyte
Noel Park	Householder planning permission	HGY/2024/0013	Approve with Conditions	19/03/2024	22 Park Ridings, Wood Green, London, N8 0LD	Erection of single storey side/ rear wrap around infill extension	Sarah Madondo
Noel Park	Full planning permission	HGY/2024/0058	Refuse	05/03/2024	Shop, 49 High Road, Wood Green, London, N22 6BH	Installation of new shopfront	Nathan Keyte
Noel Park	Householder planning permission	HGY/2024/0080	Approve with Conditions	29/02/2024	19 The Avenue, Wood Green, London, N8 0JR	Erection of ground floor single storey rear extension following demolition of existing extension.	Emily Whittredge
Noel Park	Householder planning permission	HGY/2024/0112	Approve with Conditions	04/04/2024	12 The Avenue, Wood Green, London, N8 0JR	Erection of hip to gable roof extension with rear dormer and front rooflights. Replacement of the existing rear extension.	Mark Chan
Noel Park	Householder planning permission	HGY/2024/0279	Approve with Conditions	28/03/2024	144 Mayes Road, Wood Green, London, N22 6SY	Erection of ground floor rear extension and flat alterations.	Gareth Prosser
Noel Park	Householder planning permission	HGY/2024/0309	Approve with Conditions	02/04/2024	109 Morley Avenue, Wood Green, London, N22 6NG	Erection of single storey rear extension, erection of rear garden shed, installation of 2 x rooflights to rear roofslope to facilitate loft conversion	Zara Seelig
Noel Park	Householder planning permission	HGY/2024/0322	Approve with Conditions	15/04/2024	Ground Floor Flat, 40 Hornsey Park Road, Wood Green, London, N8 0JP	Erection of single storey rear extension and associated works.	Gareth Prosser
Noel Park	Lawful development: Proposed use	HGY/2024/0565	Permitted Development	29/04/2024	61 Hewitt Avenue, Wood Green, London, N22 6QH	Certificate of lawfulness for the erection of single storey rear extension	Sarah Madondo

Noel Park	Prior approval Part 3 Class MA: Commercial, business and service uses to dwellinghouses	HGY/2024/0011	Refuse	04/03/2024	107 Mayes Road, Wood Green, London, N22 6UP	Application to determine if prior approval is required for the proposed change of use of the property?s ground floor from Commercial, Business and Service (Use Class E) to Dwellinghouses (Use Class C3) Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) - Schedule 2, Part 3, Class MA, in order to provide 2 self-contained flats.	Roland Sheldon
Noel Park	Prior approval Part 1 Class A.1(ea): Larger home extension	HGY/2024/0524	Not Required	09/04/2024	38 Whymark Avenue, Wood Green, London, N22 6DJ	Erection of single storey rear extension which extends beyond the rear wall of the original house by 6m for which the maximum height would be 3.17m and for which the height of the eaves would be 2.85m	Oskar Gregersen
Noel Park	Prior approval Part 1 Class A.1(ea): Larger home extension	HGY/2024/0525	Not Required	09/04/2024	38 Whymark Avenue, Wood Green, London, N22 6DJ	Erection of single storey rear extension which extends beyond the rear wall of the original house by 6m for which the maximum height would be 3.17m and for which the height of the eaves would be 2.85m	Oskar Gregersen
Noel Park	Prior approval Part 3 Class MA: Commercial, business and service uses to dwellinghouses	HGY/2024/0663	Approve with Conditions	03/05/2024	107 Mayes Road, Wood Green, London, N22 6UP	Application to determine if prior approval is required for a proposed: Change of use from Commercial, Business and Service (Use Class E) to two self-contained flats (Use Class C3) under Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) - Schedule 2, Part 3, Class MA.	Roland Sheldon
Noel Park	Prior notification: Development by telecoms operators	HGY/2024/0725	Permitted Development	15/03/2024	East Car Park, Wood Green Shopping City, High Road, Wood Green, London, N22 6YD	Formal notification in writing of 28 days notice in advance, in accordance with Regulation 5 of the Electronic Communications Code (Conditions and Restrictions) Regulations 2003 (as amended). Description of Development: The replacement of 3 no existing antennas with 3 no. new antennas, and the addition and upgrade of associated ancillary equipment and development thereto on the rooftop of East Car Park.	Kwaku Bossman-Gyamera
Noel Park	Approval of details reserved by a condition	HGY/2023/0169	Approve	13/03/2024	Land at Haringey Heartlands, between Hornsey Park Road, Mayes Road,, Coburg Road, Western Road and the Kings Cross / East Coast Mainline,, Clarendon Gas Works, Olympia Trading Estate, and 57-89 Western Road, London, N8	Approval of details pursuant to condition 24 - partial discharge (Unsuspected Contamination) of planning permission HGY/2017/3117 relating to buildings D1, D2, D3,-D4, E1, E2 and E3 only	Valerie Okeiyi
Noel Park	Approval of details reserved by a condition	HGY/2023/1009	Approve	28/03/2024	44-46 High Road, London N22 6BX	Approval of details pursuant to condition 21 (Front garden layout for housing fronting Bury Road) attached to planning appeal reference APP/Y/5420/W/18/3218865 (original planning reference HGY/2018/1472)	Valerie Okeiyi

Noel Park	Approval of details reserved by a condition	HGY/2023/1215	Approve	11/04/2024	Block E, Chocolate Factory, 5 Clarendon Road Off Coburg Road, Wood Green, London, N22 6XJ	Approval of details pursuant to condition 8 - partial discharge (Electric Charging Facilities) of planning permission HGY/2017/3020 and pursuant to condition 8 (Electric Charging Facilities) of the first S96a Planning Permission reference HGY/2021/0624 in relation to Blocks E2 only	Valerie Okeiyi
Noel Park	Approval of details reserved by a condition	HGY/2023/2721	Approve	01/03/2024	Garages Adjacent to 200 Morley Avenue, London N22 6NT	Approval of details pursuant to condition 4 (Landscaping) attached to planning permission HGY/2021/0054	Zara Seelig
Noel Park	Approval of details reserved by a condition	HGY/2023/3355	Approve	11/03/2024	Block E, Chocolate Factory, 5 Clarendon Road Off Coburg Road, Wood Green, London, N22 6XJ	Approval of details pursuant to condition 11 partial discharge (External lighting) of planning permission HGY/2017/3020 and pursuant to condition 11 (External lighting) of the first S96a Planning Permission reference HGY/2021/0624 in relation to Block E2 only	Valerie Okeiyi
Noel Park	Non-Material Amendment	HGY/2024/0201	Approve	03/04/2024	Block E, Chocolate Factory, 5 Clarendon Road Off Coburg Road, Wood Green, London, N22 6XJ	Non-Material amendment to planning permission (HGY/2021/0624) to change and re-align the ground floor patio railing line along Building E2 west elevation (Western Road) within the Chocolate Factory re-development in relation to Building E2.	Valerie Okeiyi
Noel Park	Non-Material Amendment	HGY/2024/0357	Approve	08/03/2024	Land at Haringey Heartlands, between Hornsey Park Road, Mayes Road,, Coburg Road, Western Road and the Kings Cross / East Coast Mainline,, Clarendon Gas Works, Olympia Trading Estate, and 57-89 Western Road, London, N8 & N22	Non-material amendments to planning permission HGY/2023/0611 to change the new fence position to accommodate the nursery	Valerie Okeiyi
Noel Park	Approval of details reserved by a condition	HGY/2024/0596	Approve	09/05/2024	Block E, Chocolate Factory, 5 Clarendon Road Off Coburg Road, Wood Green, London, N22 6XJ	Approval of details pursuant to condition 38 (Broadband) of planning permission HGY/2017/3020 and pursuant to condition 38 - (broadband) of the first S96a Planning Permission reference HGY/2021/0624 in relation to Blocks E2 only	Valerie Okeiyi
Noel Park	Approval of details reserved by a condition	HGY/2024/0724	Approve	07/05/2024	Block E, Chocolate Factory, 5 Clarendon Road Off Coburg Road, Wood Green, London, N22 6XJ	Approval of details pursuant to condition 42 (Residential Access) of planning permission HGY/2017/3020 and pursuant to condition 42 - (Residential Access) of the first S96a Planning Permission reference HGY/2021/0624 in relation to Blocks E2 only	Valerie Okeiyi

Noel Park	Approval of details reserved by a condition	HGY/2024/1082	Approve	07/05/2024	Block E, Chocolate Factory, 5 Clarendon Road Off Coburg Road, Wood Green, London, N22 6XJ	Approval of details pursuant to condition 25 partial discharge (Secure by Design Certification) of planning permission HGY/2017/3020 and pursuant to condition 25 (Secure by Design Certification) of the first S96a Planning Permission reference HGY/2021/0624 in relation to Block E2 only	Valerie Okeiyi
Noel Park	Approval of details reserved by a condition	HGY/2024/1111	Approve	07/05/2024	Block E, Chocolate Factory, 5 Clarendon Road Off Coburg Road, Wood Green, London, N22 6XJ	Approval of details pursuant to condition 20 partial discharge (Contaminated land 2) of planning permission HGY/2017/3020 and pursuant to condition 20 (Contaminated land 2) of the first S96a Planning Permission reference HGY/2021/0624 in relation to Block E2 only	Valerie Okeiyi
Northumberland Park	Full planning permission	HGY/2022/2767	Not Determined	20/03/2024	848A, High Road, London, N17 0EY	Proposed conversion of the ground floor rear storage area to be used as additional residential living space for the existing flat with internal alterations and demolitions and the additional of ground floor rear amenity space and first floor roof terrace.	Gareth Prosser
Northumberland Park	Full planning permission	HGY/2022/1631	Refuse	28/02/2024	144, Park Lane, London, N17 0JP	Change of use of ground floor sandwich shop (Class E(a)) to takeaway (Sui Generis) and restaurant (Class E(b)). Installation of extraction flue to rear.	Emily Whittredge
Northumberland Park	Approval of details reserved by a condition	HGY/2022/0998	Approve	25/03/2024	Land rear of, 705 - 707, High Road, London, N17 8AD	Approval of details reserved by a condition 15 (S278 Highway works) of planning permission ref. HGY/2018/2278 granted on 30/11/2018.	Oskar Gregersen
Northumberland Park	Full planning permission	HGY/2022/4209	Approve with Conditions	25/03/2024	Harris Primary Academy Coleraine Park Site, Glendish Road, Tottenham, London, N17 9XT	Installation of Air Source Heat Pump, concrete base, and surrounding fencing to attach to existing heating system.	Roland Sheldon
Northumberland Park	Full planning permission	HGY/2023/0633	Approve with Conditions	05/04/2024	105 Brantwood Road, Tottenham, London, N17 0DX	Increase in height of roof, creation of a new mezzanine/third storey level and installation of a new row of upper-level windows in the front elevation of the office building fronting Brantwood Road (part retrospective application).	Neil McClellan
Northumberland Park	Change of use	HGY/2023/0672	Approve with Conditions	13/03/2024	100 Lansdowne Road, Tottenham, London, N17 9XX	Retrospective planning for the change of the residential upper floors to nursery use (use Class E) for the continuation of the whole premises to function as a nursery.	Mercy Oruwari

Northumberland Park	Full planning permission	HGY/2023/1162	Refuse	29/02/2024	Petrol Filling Station, 1-13 Willoughby Lane, Tottenham, London, N17 0QU	Demolition of the existing sales building and MOT centre on site and the erection of a new sales building, 4 no. new jet wash bays, amendments to the forecourt canopy, a new bin store, a new air/water vac machine, new parking spaces, a new boundary fence, and associated works at Northumberland Park Service Station, 1-13 Willoughby Lane, London, N17	Sarah Madondo
Northumberland Park	Removal/variation of conditions	HGY/2023/2137	Approve with Conditions	08/04/2024	Tottenham Hotspur Stadium, 748 High Road, Tottenham, London N17 0AL	Minor Material Amendments to height, design, maximum floorspace and associated works to Plot 3 (Hotel / Residential development) of the hybrid planning permission HGY/2015/3000 (following previously approved amendments including HGY/2017/1183 to allow part residential (C3) use on Plot 3) for demolition and comprehensive redevelopment of the Northumberland Park Development Project through variation of Conditions A4 (Consented Drawings and Documents); A6 (Conformity with Environmental Statement) and Condition A7 (Maximum Quantity/Density) and D1 (Plot 3 specific drawings) under Section 73 of the Town and Country Planning Act (EIA development)	Samuel Uff
Northumberland Park	Lawful development: Existing use	HGY/2023/2268	Not Determined	05/03/2024	62 Willoughby Lane, Tottenham, London, N17 0SS	Certificate of lawfulness of the existing use of the lean-to extension building and surrounding land as a dwelling at R/O 62 Willoughby Lane, Tottenham, London, N17 0SS, inc. the ancillary garages.	Daniel Boama
Northumberland Park	Full planning permission	HGY/2024/0087	Approve with Conditions	26/03/2024	32 Willoughby Lane, Tottenham, London, N17 0SS	Creation of 2 x additional bedrooms to existing house in multiple occupation. Change of use from a small HMO for 6 persons into a Large HMO for 8 persons (Sui Generis)	Sarah Madondo
Northumberland Park	Full planning permission	HGY/2024/0284	Approve with Conditions	03/04/2024	Stellar House, 900 High Road, Tottenham, London, N17 0DZ	Replacement of all existing UPVC windows with new UPVC windows. Existing main entrance wooden doors replaced with steel core multi secure door type with side lights to match existing. Existing corner windows to the West side elevation replaced with an aluminium door set to create new access to the lower floor room.	Emily Whittredge
Northumberland Park	Full planning permission	HGY/2024/0372	Approve with Conditions	10/04/2024	Flat 2, 12 Park Avenue Road, Tottenham, London, N17 0HX	Formation of rear dormer, insertion of two front rooflights, roof extension: hip to gable.	Oskar Gregersen

Northumberland Park	Lawful development: Proposed use	HGY/2024/0422	Permitted Development	15/04/2024	22 Tilson Road, Tottenham, London, N17 9UY	Certificate of lawfulness proposed: Loft conversion with rear dormer and 2no. front rooflights, works undertaken under Class B and C of Part 1 of Schedule 2 of the Town and Country Planning (General Permitted Development) (England) Order 2015.	Zara Seelig
Northumberland Park	Full planning permission	HGY/2024/0704	Refuse	09/05/2024	Flat 14, Fenman Court, Shelbourne Road, Tottenham, London, N17 0JY	Erection of new garage structure with vehicle crossover	Oskar Gregersen
Northumberland Park	Consent to display an advertisement	HGY/2024/0714	Approve with Conditions	10/05/2024	45 - 47 Garman Road, London, N17 0UR	Display of 4 no. externally building mounted illuminated fascia signs and 1no. non-illuminated fascia sign.	Kwaku Bossman-Gyamera
Northumberland Park	Lawful development: Proposed use	HGY/2024/1140	Permitted Development	01/05/2024	144 Shelbourne Road, Tottenham, London, N17 9YA	Certificate of Lawful Development (Proposed) for the erection of a rear dormer extension	Iliyan Topalov
Northumberland Park	Lawful development: Existing use	HGY/2024/1250	Approve	09/05/2024	1 Poynton Road, Tottenham, London, N17 9SH	Certificate of Lawfulness for the existing use of the rear outbuilding as a self-contained residential flat (C3 Use Class).	Kwaku Bossman-Gyamera
Northumberland Park	Prior approval Part 1 Class A.1(ea): Larger home extension	HGY/2024/0468	Not Required	18/03/2024	63 Poynton Road, Tottenham, London, N17 9SJ	Erection of single storey extension which extends beyond the rear wall of the original house by 4.2m, for which the maximum height would be 2.7m and for which the height of the eaves would be 2.7m	Oskar Gregersen
Northumberland Park	Approval of details reserved by a condition	HGY/2023/3211	Approve	28/02/2024	175 Willoughby Lane, Tottenham, London, N17 0RX	Approval of details reserved by a condition 18(Boundary Treatment) attached to planning permission HGY/2022/0664	Sarah Madondo
Northumberland Park	Approval of details reserved by a condition	HGY/2023/3353	Approve	28/02/2024	66 Brantwood Road, Tottenham, London, N17 0EU	Approval of details pursuant to Condition 4 'Details of Cycle Parking' & 5 'Details of Waste/Refuse Storage' of planning permission ref. HGY/2023/2542 granted on 16/11/2023 for a single storey rear extension and the subdivision of the existing property into two flats.	Zara Seelig
Northumberland Park	Approval of details reserved by a condition	HGY/2024/0246	Approve	12/03/2024	45-47 Garman Road, London, N17 0UR	Approval of details reserved by a condition 12 (Management Maintenance Plan) attached to planning permission HGY/2022/2293.	Kwaku Bossman-Gyamera
Northumberland Park	Approval of details reserved by a condition	HGY/2024/0433	Approve	27/03/2024	Tottenham Substation, Watermead Way, Tottenham, London, N17 0SG	Approval in Part of Schedule 2 Requirement 10 (Drainage Strategy) relating to Stage 3a (as approved under HGY/2023/0953), of The National Grid (North London Reinforcement Project) Order 2014 attached to development consent order HGY/2014/3601.	Nathan Keyte
Northumberland Park	Approval of details reserved by a condition	HGY/2024/0434	Approve	15/03/2024	Tottenham Substation, Watermead Way, London, N17 0SG	Approval of Schedule 2 Requirement 12 (Ecological Management Strategy) relating to Stage 3a (as approved under HGY/2023/0953), of The National Grid (North London Reinforcement Project) Order 2014 attached to development consent order HGY/2014/3601.	Nathan Keyte

Northumberland Park	Approval of details reserved by a condition	HGY/2024/0479	Approve	18/04/2024	17 St Pauls Road, Tottenham, London, N17 0NB	Approval of details pursuant to condition 1 (Cycle Parking) and Condition 2 (Refuse and Waste Storage) attached to appeal decision reference APP/Y5420/w/23/3323481 for change of Use to a 5 person HMO.	Zara Seelig
Northumberland Park	Approval of details reserved by a condition	HGY/2024/0544	Approve	10/04/2024	175, Willoughby Lane, London, N17 0RX	Approval of details reserved by a condition 3 (External Materials) attached to planning permission reference HGY/2022/0664 granted on 3 October 2023.	Sarah Madondo
Northumberland Park	Approval of details reserved by a condition	HGY/2024/0667	Approve	03/05/2024	45-47 Garman Road, London, N17 0UR	Approval of details reserved by a condition 7(Refuse and Waste and Recycling facilities) and condition 23 (Delivery and Servicing Plan) attached to planning permission: HGY/2022/2293.	Kwaku Bossman-Gyamera
Northumberland Park	Approval of details reserved by a condition	HGY/2024/0854	Approve	27/03/2024	5 - 7 St Mary's Close (Development previously known as Garage Colony, St Marys Close), Tottenham, N17 9UD	Approval of details pursuant to condition 12 (Secure by Design), attached to planning permission ref: HGY/2020/0136 (Redevelopment of parking spaces and part of roadway to erect 2 x dwelling houses with front and rear gardens with provision of 2 x parking spaces).	Neil McClellan
Seven Sisters	Householder planning permission	HGY/2022/0879	Approve with Conditions	04/04/2024	23, Hillside Road, London, N15 6LU	Excavation and extension of the existing basement including the provision of a front lightwell	Mercy Oruwari
Seven Sisters	Full planning permission	HGY/2023/3242	Approve with Conditions	15/03/2024	First And Second Floor Flat, 730 Seven Sisters Road, Tottenham, London, N15 5NH	Loft conversion including hip to gable and rear roof dormer extensions.	Mark Chan
Seven Sisters	Consent to display an advertisement	HGY/2023/3252	Refuse	15/03/2024	730 Seven Sisters Road, Tottenham, London, N15 5NH	Display of 1no. internal illuminated digital display board on the second floor level, side of the building.	Mark Chan
Seven Sisters	Householder planning permission	HGY/2023/3309	Approve with Conditions	22/03/2024	38 Roslyn Road, Tottenham, London, N15 5ET	Erection of ground floor, single storey wrap around extension.	Gareth Prosser
Seven Sisters	Lawful development: Proposed use	HGY/2024/0029	Permitted Development	28/02/2024	172 Roslyn Road, Tottenham, London, N15 5JJ	Certificate of Lawfulness proposed use: Rear Dormer Loft Conversion with 2x Front Velux Rooflights to the Front Pitch of the Roof and 1x Skylight Window	Sabelle Adjagboni
Seven Sisters	Lawful development: Existing use	HGY/2024/0266	Approve	22/04/2024	55 St Anns Road, Tottenham, London, N15 6NJ	Certificate of lawfulness existing use: Use of property as two self-contained flats.	Kwaku Bossman-Gyamera
Seven Sisters	Full planning permission	HGY/2024/0371	Approve with Conditions	10/04/2024	Shop, 716 Seven Sisters Road, Tottenham, London, N15 5NE	External alterations to replace shopfront shutters and door with new windows and doors following prior approval ref. HGY/2023/3210.	Oskar Gregersen
Seven Sisters	Lawful development: Proposed use	HGY/2024/0407	Permitted Development	23/04/2024	5 Chiltern Works, Southey Road, Tottenham, London, N15 5HY	Certificate of lawfulness of proposed use for replacement windows on front and rear elevations.	Daniel Boama
Seven Sisters	Lawful development: Existing use	HGY/2024/0985	Approve	17/04/2024	74 Kirkton Road, Tottenham, London, N15 5EY	Certificate of Lawful Development for the existing use of the site as a dwellinghouse (Class C3)	Iliyan Topalov
Seven Sisters	Lawful development: Proposed use	HGY/2024/1059	Permitted Development	29/04/2024	24 Howard Road, Tottenham, London, N15 6NL	Certificate of Lawful Development for the proposed replacement of the current rear dormer with a larger one.	Iliyan Topalov

Seven Sisters	Lawful development: Proposed use	HGY/2024/1119	Permitted Development	01/05/2024	10 Westerfield Road, Tottenham, London, N15 5LD	Certificate of Lawful Development (Proposed) for the erection of a rear L-shaped dormer extension, insertion of 2x front facing rooflights	Iliyan Topalov
Seven Sisters	Approval of details reserved by a condition	HGY/2023/0298	Approve	30/04/2024	Land adjacent to, 20, Ermine Road, London, N15 6DB	Approval of details pursuant to Condition 3a (Desktop contamination study) of planning permission HGY/2017/3586 granted on the 19/09/2019 for a residential development comprising six 3-storey 4-bedroom dwelling houses and associated works.	Neil McClellan
Seven Sisters	Approval of details reserved by a condition	HGY/2023/3328	Approve	27/03/2024	Land Rear Of 2-14, Kerswell Close, Tottenham, London	Approval of details pursuant to condition 12 (parts a&b) (Geotechnical Design Report) pursuant to planning permission ref: HGY/2022/2250 granted on 31st August 2022 for the Redevelopment of the car park, commercial unit and open space at the junction of Kerswell Close and St. Ann's Road and provision of 25 new Council rent homes and an Adult Care Hub in two, four and five-storey buildings. Provision of associated amenity space, including new landscaping, refuse/recycling stores and play space, cycle and refuse/recycling stores and wheelchair parking spaces, and enhancement of existing amenity space within the Kerswell Close Estate.	Gareth Prosser
Seven Sisters	Approval of details reserved by a condition	HGY/2024/0334	Approve	12/03/2024	Flat 1, 691 Seven Sisters Road, Tottenham, London, N15 5LA	Approval of details reserved by a condition 4 (Secure & covered cycle parking facilities) attached to planning permission HGY/2022/4450.	Kwaku Bossman-Gyamera
Seven Sisters	Approval of details reserved by a condition	HGY/2024/0635	Approve	01/05/2024	718 Seven Sisters Road, Tottenham, London, N15 5NH	Approval of details reserved by a condition 4 (Secure and Covered Cycle Parking facilities) and condition 5 (Refuse and Waste and Recycling facilities) attached to planning permission: HGY/2022/2787.	Kwaku Bossman-Gyamera
South Tottenham	Full planning permission	HGY/2022/4096	Approve with Conditions	19/03/2024	189-191, Broad Lane, Tottenham, London, N15 4QT	Construction of 2 storey extension with a loft to create three self-contained flats, including the rear area to form amenity space, secure cycle parking and refuse storage. (Amended Description)	Kwaku Bossman-Gyamera
South Tottenham	Householder planning permission	HGY/2023/2278	Approve with Conditions	15/03/2024	15 Clifton Gardens, Tottenham, London, N15 6AP	Excavation of basement level matching footprint of the dwelling to create habitable space with associated front and rear light wells	Nathan Keyte
South Tottenham	Householder planning permission	HGY/2023/3059	Approve with Conditions	23/04/2024	45 Lealand Road, Tottenham, London, N15 6JS	Erection of type 3 roof extension, first floor roof extension over outrigger and ground floor single storey rear wraparound extension.	Mercy Oruwari

South Tottenham	Lawful development: Proposed use	HGY/2023/3070	Approve	15/03/2024	45 Lealand Road, Tottenham, London, N15 6JS	Certificate of lawfulness for a roof extension/dormer over the outrigger - proposed use	Mercy Oruwari
South Tottenham	Removal/variation of conditions	HGY/2023/3285	Approve with Conditions	29/02/2024	2 & 4 Wellington Avenue, Tottenham, London, N15 6AS	Variation of condition 2 (approved plans) attached to planning permission HGY/2022/4358 to amend the approved scheme to widen the first floor rear extension.	Eunice Huang
South Tottenham	Householder planning permission	HGY/2023/3346	Refuse	29/02/2024	5 Rostrevor Avenue, Tottenham, London, N15 6LA	Erection of first floor rear extension and type 3 extension with the installation of 4 rooflights	Sabelle Adjagboni
South Tottenham	Householder planning permission	HGY/2024/0067	Approve with Conditions	25/03/2024	40 Wellington Avenue, Tottenham, London, N15 6AS	Excavation of a basement with a front and side lightwell (AMENDED PLANS).	Josh Parker
South Tottenham	Full planning permission	HGY/2024/0068	Approve with Conditions	06/03/2024	Craven Park Court, Craven Park Road, Tottenham, London, N15 6AA	Replacement of the Block Entrance Door with a new high security Timber door, in a portcullis style door fenestration.	Emily Whittredge
South Tottenham	Full planning permission	HGY/2024/0098	Approve with Conditions	04/04/2024	24, 26 Elm Park Avenue, London, N15 6AT	Erection of rear ground floor extensions at 24 and 26 Elm Park Avenue (previously granted under applications HGY2023/1940 and HGY/2022/0142) together with basement extension and associated rear lightwells.	Sabelle Adjagboni
South Tottenham	Lawful development: Existing use	HGY/2024/0135	Approve	13/03/2024	58 Wellington Avenue, Tottenham, London, N15 6BA	First floor rear extension	Oskar Gregersen
South Tottenham	Lawful development: Proposed use	HGY/2024/0153	Permitted Development	13/03/2024	41 Gladesmore Road, Tottenham, London, N15 6TA	Certificate of Lawfulness application for a proposed rear dormer with linked roof extension over outrigger roof.	Zara Seelig
South Tottenham	Householder planning permission	HGY/2024/0175	Approve with Conditions	26/03/2024	36 Riverside Road, Tottenham, London, N15 6DA	Erection of 2nd floor extension with loft accommodation at 3rd level within a pitched roof (Type 3 extension). Erection of a single storey rear extension. Insertion of 4no. rooflights.	Daniel Boama
South Tottenham	Householder planning permission	HGY/2024/0224	Approve with Conditions	22/03/2024	131 Fairview Road, Tottenham, London, N15 6TS	Erection of single storey rear/side extension	Daniel Boama
South Tottenham	Full planning permission	HGY/2024/0306	Approve with Conditions	25/03/2024	23 & 25 Craven Park Road, Tottenham, London, N15 6AA	Joint application for the erection of first floor rear extensions at No's 23 & 25	Daniel Boama
South Tottenham	Householder planning permission	HGY/2024/0321	Approve with Conditions	26/03/2024	46 Fairview Road, Tottenham, London, N15 6LJ	Erection of Type 3 roof extension	Kwaku Bossman-Gyamera
South Tottenham	Full planning permission	HGY/2024/0393	Refuse	16/05/2024	First And Second Floor Flat B, 51 Gladesmore Road, Tottenham, London, N15 6TA	Replacement screen to 1st Floor Terrace	Emily Whittredge
South Tottenham	Householder planning permission	HGY/2024/0467	Approve with Conditions	18/04/2024	162 Gladesmore Road, Tottenham, London, N15 6TH	Erection of single storey ground floor rear extension; part first floor extension; erection of Type 3 roof extension; and front porch.	Kwaku Bossman-Gyamera
South Tottenham	Full planning permission	HGY/2024/0579	Approve with Conditions	29/04/2024	Shop, 83 Broad Lane, Tottenham, London, N15 4DW	Single storey rear extension ancillary to existing retail unit.	Kwaku Bossman-Gyamera
South Tottenham	Householder planning permission	HGY/2024/0589	Approve with Conditions	09/05/2024	129 Castlewood Road, Tottenham, London, N15 6BD	Type 3 loft extension.	Neil McClellan
South Tottenham	Householder planning permission	HGY/2024/0611	Approve with Conditions	01/05/2024	5 Rostrevor Avenue, Tottenham, London, N15 6LA	Erection of a Type 3 extension with the installation of 4 rooflights	Sabelle Adjagboni
South Tottenham	Lawful development: Existing use	HGY/2024/0717	Approve	08/04/2024	36 Springfield Road, Tottenham, London, N15 4AZ	Certificate of Lawful Development for the existing use of the ground floor as two separate 1-bedroom flats (front & rear)	Iliyan Topalov

South Tottenham	Lawful development: Proposed use	HGY/2024/0758	Permitted Development	14/05/2024	1 Colless Road, Tottenham, London, N15 4NR	Certificate of Lawfulness for the proposed formation of a hip-to-gable and rear dormer roof extension.	Oskar Gregersen
South Tottenham	Lawful development: Proposed use	HGY/2024/1124	Permitted Development	01/05/2024	81 Lealand Road, Tottenham, London, N15 6JT	Certificate of Lawful Development (Proposed) for the erection of a rear dormer extension over the rear outrigger, the removal of rear outrigger chimney	Iliyan Topalov
South Tottenham	Prior approval Part 1 Class A.1(ea): Larger home extension	HGY/2024/0128	Not Required	28/02/2024	58 Wargrave Avenue, Tottenham, London, N15 6UB	Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 3.5m and for which the height of the eaves would be 3m	Laina Levassor
South Tottenham	Prior approval Part 1 Class A.1(ea): Larger home extension	HGY/2024/0474	Refuse	19/03/2024	100 Lealand Road, Tottenham, London, N15 6JT	Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 3m and for which the height of the eaves would be 2.75m	Oskar Gregersen
South Tottenham	Prior approval Part 1 Class A.1(ea): Larger home extension	HGY/2024/0537	Refuse	27/03/2024	120 Wargrave Avenue, Tottenham, London, N15 6UA	Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 4m and for which the height of the eaves would be 3m	Iliyan Topalov
South Tottenham	Prior notification: Development by telecoms operators	HGY/2024/0590	Permitted Development	05/03/2024	Anna House, Page Green Terrace, Tottenham, London, N15 4NP	Formal notification in writing of 28 days? notice in advance, of our intention to install electronic communications in accordance with Regulation 5 of the Electronic Communications Code (Conditions and Restrictions) Regulations 2003. Description of Development: ? The installation of 3no. new antennas, 2no. transmission dishes and ancillary works to the existing rooftop base station.	Kwaku Bossman-Gyamera
South Tottenham	Prior approval Part 1 Class A.1(ea): Larger home extension	HGY/2024/0810	Refuse	30/04/2024	100 Lealand Road, Tottenham, London, N15 6JT	Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 3m and for which the height of the eaves would be 3m	Daniel Boama
South Tottenham	Prior approval Part 1 Class A.1(ea): Larger home extension	HGY/2024/0832	Not Required	03/05/2024	53 Lealand Road, Tottenham, London, N15 6JT	Erection of a single storey extension which extends beyond the rear wall of the original house by 5.26m, for which the maximum height would be 3.4m and for which the height of the eaves would be 3m.	Sabelle Adjagboni
South Tottenham	Prior approval Part 1 Class A.1(ea): Larger home extension	HGY/2024/0850	Refuse	07/05/2024	100 Lealand Road, Tottenham, London, N15 6JT	Ground floor rear extension, which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 2.75m and for which the height of the eaves would be 2.75m	Sabelle Adjagboni

South Tottenham	Prior approval Part 1 Class A.1(ea): Larger home extension	HGY/2024/0923	Refuse	15/05/2024	119 Crowland Road, Tottenham, London, N15 6UR	Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 3.5m and for which the height of the eaves would be 3m	Oskar Gregersen
South Tottenham	Consent under Tree Preservation Orders	HGY/2023/3084	Approve with Conditions	15/05/2024	Basement Flat, 23 Talbot Road, Tottenham, London, N15 4DF	Four trees located in the property's back garden are as follows: one Holly (Ilex aquifolium), second tree Lime (Tilia), third tree Holly (Ilex aquifolium), fourth is an Ash (Fraxinus excelsior) in order from the nearest to the furthest of the house. These all need a 30 percent reduction	Daniel Monk
South Tottenham	Approval of details reserved by a condition	HGY/2023/3380	Approve	03/05/2024	Land and Railway Arches to the South of Page Green Road, Page Green Road, London, N15 4PG	Approval of details reserved by a condition 3 (Method of Construction Statement) and condition 4 (Secured & Covered Cycle Parking) attached to planning reference HGY/2023/1393.	Sarah Madondo
South Tottenham	Approval of details reserved by a condition	HGY/2024/0575	Approve	12/03/2024	Stainby Road Car Park, Tottenham, London, N15 4FJ	Approval of details reserved by a condition 14 d (Verification Report-Remediation Strategy) attached to planning permission ref: HGY/2021/0087.	Kwaku Bossman-Gyamera
South Tottenham	Approval of details reserved by a condition	HGY/2024/0614	Approve	01/05/2024	162 High Cross Road, Tottenham, London, N17 9PD	Approval of details reserved by a condition 5 (Details of Refuse/waste storage and recycling facilities) attached to planning permission HGY/2017/1438.	Kwaku Bossman-Gyamera
South Tottenham	Approval of details reserved by a condition	HGY/2024/0690	Approve	09/04/2024	TYNEMOUTH GARAGE UNIT 1- 2, TYNEMOUTH ROAD, TOTTENHAM , N15 4AT	Approval of details pursuant condition 8 (Removal of redundant crossovers and re-instatement of the footway) attached to planning consent HGY/2013/1249.	Mercy Oruwari
St Ann's	Householder planning permission	HGY/2023/1106	Approve with Conditions	01/03/2024	Ground Floor Flat A, 127 Harringay Road, Tottenham, London, N15 3HP	Replacement of existing storage shed with a new storage shed in the rear garden.	Daniel Boama
St Ann's	Full planning permission	HGY/2023/2099	Approve with Conditions	29/02/2024	Chestnuts Park, St Ann's Road, London N15 3AQ	Construction of SuDS Basin and Associated Open Space	Sarah Madondo
St Ann's	Householder planning permission	HGY/2023/3172	Refuse	12/04/2024	4 Hastings Terrace, Conway Road, Tottenham, London, N15 3BE	Erection of a first floor side extension above an existing single storey side extension.	Gareth Prosser
St Ann's	Householder planning permission	HGY/2023/3359	Approve with Conditions	28/02/2024	First Floor Flat, 51 Abbotsford Avenue, Tottenham, London, N15 3BT	Erection of rear dormer including the insertion of 3x front, and 2x rear rooflights. Installation of photovoltaic panels on roof. Installation of an external staircase from first floor to private ground floor side/rear garden (plus creation of secondary means of escape), replacement of 2x rear windows including lowering of sill levels.	Mercy Oruwari
St Ann's	Householder planning permission	HGY/2023/3400	Approve with Conditions	15/05/2024	First Floor Flat, 321 West Green Road, Tottenham, London, N15 3PA	Conversion of the existing flat into a C4 HMO for 5 people. AMENDED DESCRIPTION	Mercy Oruwari

St Ann's	Householder planning permission	HGY/2024/0081	Approve with Conditions	07/03/2024	28 Grove Road, Tottenham, London, N15 5HJ	Replace existing timber sash windows with double glazed white uPVC frames.	Zara Seelig
St Ann's	Householder planning permission	HGY/2024/0091	Approve with Conditions	07/03/2024	75 Avondale Road, Tottenham, London, N15 3SR	Erection of a single storey rear wrap-around extension	Sabelle Adjagboni
St Ann's	Lawful development: Proposed use	HGY/2024/0113	Permitted Development	11/03/2024	54 LA ROSE LANE, TOTTENHAM, LONDON, N15 3AR	Certificate of Lawful Development for a rear dormer window on the main roof slope and the out-rigger projection. Front roof lights.	Kwaku Bossman-Gyamera
St Ann's	Full planning permission	HGY/2024/0181	Approve with Conditions	25/04/2024	Ground Floor Flat, 22 Abbotsford Avenue, Tottenham, London, N15 3BS	Erection of a single storey rear wrap around extension and the lowering of the existing cellar's floor.	Kwaku Bossman-Gyamera
St Ann's	Lawful development: Proposed use	HGY/2024/0332	Permitted Development	04/04/2024	5 Gorleston Road, Tottenham, London, N15 5QR	Certificate of Lawfulness proposed use: Loft conversion with rear dormer and front roof lights.	Sabelle Adjagboni
St Ann's	Lawful development: Proposed use	HGY/2024/0419	Permitted Development	03/05/2024	Flat Right, 70 Etherley Road, Tottenham, London, N15 3AU	Certificate of Lawfulness proposed use: Loft conversion including L-shaped dormer	Sabelle Adjagboni
St Ann's	Householder planning permission	HGY/2024/0420	Approve with Conditions	17/04/2024	70 Etherley Road, Tottenham, London, N15 3AU	Erection of single-storey rear extension to replace the existing single-storey rear conservatory.	Sabelle Adjagboni
St Ann's	Lawful development: Proposed use	HGY/2024/0742	Refuse	13/05/2024	43 Lydford Road, Tottenham, London, N15 5PX	Certificate of Lawfulness: Proposed Use for erection of a single storey rear extension.	Oskar Gregersen
St Ann's	Prior approval Part 1 Class A.1(ea): Larger home extension	HGY/2024/0697	Not Required	24/04/2024	35 Brompton Road, Tottenham, London, N15 3SX	Erection of single storey extension which extends beyond the rear wall of the original house by 4.5m, for which the maximum height would be 4m and for which the height of the eaves would be 3m	Oskar Gregersen
Stroud Green	Lawful development: Existing use	HGY/2023/0347	Approve	12/03/2024	13 Lancaster Road, Hornsey, London, N4 4PJ	Lawful development certificate for the existing use of Numbers 13a and b as 9no. self contained studio flats	Roland Sheldon
Stroud Green	Full planning permission	HGY/2023/1886	Approve with Conditions	01/03/2024	41 Oxford Road, Hornsey, London, N4 3EY	Replace existing single-glazed timber sash windows with double glazed timber sash windows on front elevation, to match the existing box-sash style with no glazing bars.	Eunice Huang
Stroud Green	Full planning permission	HGY/2023/2035	Approve with Conditions	19/04/2024	69 Florence Road, Hornsey, London, N4 4DJ	Replacement of existing single glazed timber sash windows with new double glazed timber sash windows. Replacement of existing three panel part-glazed timber front entrance door with a new part glazed three panel timber door.	Emily Whittredge
Stroud Green	Full planning permission	HGY/2023/2933	Approve with Conditions	07/05/2024	14 Mayfield Road, Hornsey, London, N8 9LL	The proposed replacement of the existing timber casement windows with new double glazed windows.	Eunice Huang

Stroud Green	Full planning permission	HGY/2023/3297	Approve with Conditions	03/05/2024	89 Stapleton Hall Road, Hornsey, London, N4 4RH	Conversion of HMO (Sui Generis) into single dwellinghouse (Class C3(a)), two rear dormers for a loft extension, rear ground floor extension, new and replacement doors and windows, new rooflights, replacement of roof tiles, removal of render on the front facade to expose the existing brick, and landscape works including new bin enclosure and bike shed.	Eunice Huang
Stroud Green	Householder planning permission	HGY/2023/3387	Approve with Conditions	26/03/2024	First Floor Flat B, 17 Scarborough Road, Hornsey, London, N4 4LX	Replacement of two rear-facing single-glazed timber window units with double-glazed uPVC units.	Mercy Oruwari
Stroud Green	Householder planning permission	HGY/2023/3388	Approve with Conditions	26/03/2024	10 Addington Road, Hornsey, London, N4 4RP	Erection of a rear infill extension, raising of existing paved terrace with new steps, alteration of front garden steps and erection of new bike storage in the front garden.	Mercy Oruwari
Stroud Green	Change of use	HGY/2024/0022	Approve with Conditions	22/04/2024	17 Ridge Road, Hornsey, London, N8 9LE	Continuation of use of the property as HMO accommodation with a maximum permitted number of occupants of 12 persons.	Roland Sheldon
Stroud Green	Householder planning permission	HGY/2024/0034	Approve with Conditions	29/02/2024	Flat 2, 79 Mayfield Road, Hornsey, London, N8 9LN	Enlargement to existing rear dormer with a Juliet balcony and access door to roof terrace. (AMENDED DESCRIPTION)	Daniel Boama
Stroud Green	Lawful development: Proposed use	HGY/2024/0075	Permitted Development	04/03/2024	152 Weston Park, Hornsey, London, N8 9PN	Certificate of lawfulness proposed use: Rear dormer extension over outrigger.	Sabelle Adjagboni
Stroud Green	Householder planning permission	HGY/2024/0109	Approve with Conditions	28/02/2024	16 Perth Road, Hornsey, London, N4 3HB	Extension to existing single-storey ground floor rear extension.	Roland Sheldon
Stroud Green	Householder planning permission	HGY/2024/0126	Approve with Conditions	12/03/2024	56 Denton Road, Hornsey, London, N8 9NT	Erection of a single storey rear extension and installation of balustrades to existing rear roof terrace.	Mark Chan
Stroud Green	Full planning permission	HGY/2024/0176	Refuse	18/03/2024	53 Ferme Park Road, Hornsey, London, N4 4EB	Erection of side and rear extensions and loft and basement conversions with alterations to the front, side and rear elevations including demolition of the previous rear extensions in order to provide 1 x 2-bedroom, 1x 4-bedroom and 1x 5-bedroom residential units.	Nathan Keyte
Stroud Green	Full planning permission	HGY/2024/0190	Approve with Conditions	26/03/2024	Flat A, 33 Ossian Road, Hornsey, London, N4 4DX	Proposed replacement of window with a new door and the installation of an external stair.	Ben Coffie
Stroud Green	Householder planning permission	HGY/2024/0225	Approve with Conditions	22/04/2024	10 Ossian Road, Hornsey, London, N4 4EA	Single storey side infill extension, installation of air source heat pump to rear, and replacement of front and rear windows	Emily Whittredge
Stroud Green	Full planning permission	HGY/2024/0238	Approve with Conditions	26/03/2024	Flat A, 33 Ossian Road, Hornsey, London, N4 4DX	Proposed outbuilding at the rear of the garden.	Ben Coffie

Stroud Green	Householder planning permission	HGY/2024/0328	Approve with Conditions	03/04/2024	216 Stapleton Hall Road , Hornsey, London, N4 4QR	Refurbishment and extension of the existing dwelling, including demolition of existing single-storey kitchen, a new single-storey rear extension with glazed rooflight accommodating an open plan kitchen-dining area, re-roofing to the loft floor and the replacement of an existing rooflight with a larger conservation window.	Eunice Huang
Stroud Green	Householder planning permission	HGY/2024/0734	Approve with Conditions	29/04/2024	82 Upper Tollington Park, Hornsey, London, N4 4NB	Proposed installation of two bike sheds and one bin shed in the front garden of 82 Upper Tollington Park.	Neil McClellan
Stroud Green	Full planning permission	HGY/2024/0786	Approve with Conditions	14/05/2024	Ground Floor Flat, 14 Nelson Road, Hornsey, London, N8 9RU	Single storey ground floor rear extension to existing flat.	Kwaku Bossman-Gyamera
Stroud Green	Consent under Tree Preservation Orders	HGY/2024/0166	Approve with Conditions	11/03/2024	Flat 1, 40 Mount View Road, Hornsey, London, N4 4HX	Works to tree protected by a TPO. T1 Rear Garden (Willow) Previously pollarded tree/under-managed. Prune back to most recent reduction points to contain crown and root-activity due to the close proximity to the building and neighbours garden room, leave some furnishing growth on branch ends	Daniel Monk
Stroud Green	Approval of details reserved by a condition	HGY/2024/0177	Approve	18/03/2024	22 Upper Tollington Park, Hornsey, London, N4 3EL	Application to discharge conditions 7 ? Details of Cycle Parking and Condition 8 ? Details of waste/refuse and recycling storage on application reference HGY/2023/2989 for - Ground floor rear extension, and roof extension with loft conversion with roof terrace. Internal alterations to accommodate the amalgamation of six studio flats into the following: one 3-bedroom flat on the ground floor, one 1-bedroom flat on the 1st floor and one 2 bedroom maisonette flat on the 2nds and loft floors.	Zara Seelig
Stroud Green	Consent under Tree Preservation Orders	HGY/2024/0282	Approve with Conditions	04/04/2024	Flat 1, 62 Denton Road, Hornsey, London, N8 9NT	(T1) - Sycamore - Tree is very large with overextended branches, limb towards house dropping to head height when in leaf and almost touching building. Branches are significantly overhanging neighbouring gardens, causing significant shading to multiple houses. Proposing to reduce entire crown by up to 3m in order to prevent failure of limbs and maintain trees form in current location and to remove lowest limb towards house (approximately 200mm diameter).	Daniel Monk

Stroud Green	Consent under Tree Preservation Orders	HGY/2024/0283	Approve with Conditions	12/03/2024	26 Denton Road, Hornsey, London, N8 9NS	(T1) Magnolia - Tree has become very large since previous reduction and is in raised position above lower ground windows, shading the rear of the property and overhanging neighbouring garden. proposing to reduce crown by up to 2m in order to maintain trees shape and form in this location	Daniel Monk
Stroud Green	Approval of details reserved by a condition	HGY/2024/0394	Approve	28/03/2024	41 Albert Road, Hornsey, London, N4 3RP	Approval of details reserved by a condition 3 (Windows and doors) attached to planning reference HGY/2023/2915.	Daniel Boama
Stroud Green	Approval of details reserved by a condition	HGY/2024/0530	Approve	17/04/2024	1A Scarborough Road, Hornsey, London, N4 4LX	Approval of details for conditions 3 (Materials) and 5 (Living Roof) pursuant to planning permission ref. HGY/2023/1617 granted on 18th September 2023 for the demolition of existing garages, erection of replacement side extension and modifications to boundary treatment	Daniel Boama
Stroud Green	Non-Material Amendment	HGY/2024/0874	Approve	05/04/2024	183 Mount View Road, Hornsey, London, N4 4JT	Non-material amendment to planning permission ref. HGY/2023/1045 granted on 9th August 2023 for the Rear extension at ground floor, Window change at first floor bathroom and new Velux window at second floor level.; namely alteration to size of first floor rear bathroom window.	Roland Sheldon
Tottenham Central	Full planning permission	HGY/2022/3379	Refuse	07/03/2024	285, High Road, London, N15 4RR	Conversion of an existing 3 storey Victorian house into 3x self contained flats.	Sarah Madondo
Tottenham Central	Approval of details reserved by a condition	HGY/2022/2636	Not Determined	30/04/2024	Redlands, Summerhill Road, London, N15 4HE	Approval of details pursuant to condition 8 (Secure by Design - Tracker) attached to planning consent HGY/2020/1779	Mercy Oruwari
Tottenham Central	Full planning permission	HGY/2023/3377	Approve with Conditions	13/03/2024	1 South Witham, 11 Mount Pleasant Road, Tottenham, London, N17 6TR	Erection of single storey ground floor rear side extension.	Sarah Madondo
Tottenham Central	Householder planning permission	HGY/2024/0155	Approve with Conditions	13/03/2024	19 Loobert Road, Tottenham, London, N15 4LQ	Erection of rear dormer with rooflights on front slope and amendments to windows to rear ground floor	Sarah Madondo
Tottenham Central	Lawful development: Proposed use	HGY/2024/0360	Approve	08/03/2024	41 Winchelsea Road, Tottenham, London, N17 6XJ	Certificate of Lawfulness: Rear roof extension and front rooflights.	Gareth Prosser
Tottenham Central	Lawful development: Proposed use	HGY/2024/0415	Permitted Development	27/03/2024	103 St Loys Road, Tottenham, London, N17 6UE	Certificate of lawfulness for proposed use: Erection of a single storey 3m deep rear extension.	Daniel Boama
Tottenham Central	Householder planning permission	HGY/2024/0441	Approve with Conditions	01/05/2024	77 Winchelsea Road, Tottenham, London, N17 6XL	Erection of single-storey rear extension (retrospective)	Sabelle Adjagboni
Tottenham Central	Householder planning permission	HGY/2024/0522	Refuse	29/04/2024	19 Arnold Road, Tottenham, London, N15 4JF	The construction of a rear and side dormer extension including roof lights to the front. Additionally the construction of a single storey rear extension.	Josh Parker

Tottenham Central	Lawful development: Proposed use	HGY/2024/0731	Permitted Development	21/03/2024	19 Strode Road, Tottenham, London, N17 6TZ	Certificate of Lawful Development (Proposed) for the alteration to rear ground floor fenestration and the erection of a single storey extension which extends beyond the rear wall of the original house by 3m, and the height of the eaves would be 3m.	Iliyan Topalov
Tottenham Central	Lawful development: Proposed use	HGY/2024/1066	Permitted Development	01/05/2024	27 Higham Road, Tottenham, London, N17 6NF	Certificate of Lawful Development (Proposed) for the erection of single storey extension which extends beyond the rear wall of the original house by 3m, for which the maximum height would be 4m and for which the height of the eaves would be 2.7m	Iliyan Topalov
Tottenham Central	Lawful development: Existing use	HGY/2024/1106	Approve	02/05/2024	45 Sperling Road, Tottenham, London, N17 6UQ	Certificate of Lawful Development for the existing use of the property as two separate self containing flats (Flat A and Flat B)	Iliyan Topalov
Tottenham Central	Approval of details reserved by a condition	HGY/2023/3014	Approve	05/03/2024	11 Bruce Grove, Tottenham, London, N17 6RA	Approval of details pursuant to condition 3 (method statement, material specification and material samples of the proposed repairs and new building works to boundary walls, piers, and railings) attached to listed building consent HGY/2023/1451	Sarah Madondo
Tottenham Central	Approval of details reserved by a condition	HGY/2023/3015	Approve	05/03/2024	12 Bruce Grove, Tottenham, London, N17 6RA	Approval of details pursuant to conditions 3 (typical detail drawing, material specification and material samples of the new permeable surfacing to forecourt and new planter beds with concrete edging) and 4 (method statement, material specification and material samples of the proposed repairs and new building works to boundary walls, piers, and railings) attached to planning permission HGY/2023/0658	Sarah Madondo
Tottenham Central	Approval of details reserved by a condition	HGY/2023/3016	Approve	05/03/2024	12 Bruce Grove, Tottenham, London, N17 6RA	Approval of details pursuant to condition 3 (method statement, material specification and material samples of the proposed repairs and new building works to boundary walls, piers, and railings) and 4 (typical detail drawing, material specification and material samples of the new permeable surfacing to forecourt and new planter beds with concrete edging) attached to listed building consent HGY/2023/0984.	Sarah Madondo

Tottenham Central	Approval of details reserved by a condition	HGY/2023/3020	Approve	05/03/2024	Cedar Place, 14 Bruce Grove, Tottenham, London, N17 6YT	Approval of details pursuant to conditions 3 (details of the new permeable hardstanding, including external finish materials and colour), 5 (method statement, material specification and material samples of the proposed repairs and new building works to boundary walls, piers, and railings) and condition 6 (landscaping) attached to listed building consent HGY/2023/1206	Sarah Madondo
Tottenham Central	Approval of details reserved by a condition	HGY/2023/3033	Approve	08/03/2024	8 Bruce Grove, Tottenham, London, N17 6RA	Approval of details pursuant to condition 3 (proposed materials and finishes to paving and boundary treatment) attached to listed building consent HGY/2022/2678	Sarah Madondo
Tottenham Central	Approval of details reserved by a condition	HGY/2023/3034	Approve	08/03/2024	9 Bruce Grove, Tottenham, London, N17 6RA	Approval of details pursuant to condition 3 (proposed materials and finishes to paving and boundary treatment) attached to listed building consent HGY/2022/2676	Sarah Madondo
Tottenham Central	Consent under Tree Preservation Orders	HGY/2024/0253	Approve with Conditions	12/03/2024	56 Kitchener Road, Tottenham, London, N17 6DX	Works to tree protected by a TPO. 1 Sycamore: Reduce by 30% approx. 3/3.5m from all aspects back to previous points of reduction to shape, remove dead weak and crossing branches To contain and shape, outgrown location, shading gardens	Daniel Monk
Tottenham Central	Non-Material Amendment	HGY/2024/0320	Approve	06/03/2024	Tottenham Fire Station, 49 St Loys Road, Tottenham, London, N17 6UE	Non-Material Amendment to planning permission HGY/2023/2659 for the creation of new window openings in Tottenham Fire Station's Breathing Apparatus Training Centre (Block B1). The amendments being sought are to change the colour of the window frames, extremal door sets and cladding on the north elevation to RAL-7016 Anthracite.	Kwaku Bossman-Gyamera
Tottenham Central	Approval of details reserved by a condition	HGY/2024/0384	Approve	08/04/2024	10 Bruce Grove, Tottenham, London, N17 6RA	Approval of details reserved by a condition 5 (Five year aftercare programme) attached to planning reference HGY/2023/0912 & HGY/2023/0981.	Sarah Madondo
Tottenham Central	Approval of details reserved by a condition	HGY/2024/0392	Approve	10/04/2024	10 Bruce Grove, Tottenham, London, N17 6RA	Approval of details reserved by a condition 7 (Secure and covered cycle parking) attached to planning reference HGY/2023/0912 & HGY/2023/0981	Sarah Madondo
Tottenham Green	Approval of details reserved by a condition	HGY/2022/1314	Not Determined	30/04/2024	Redlands, Summerhill Road, London, N15 4HE	Approval of details reserved by a condition 3 (Sample of materials) attached to planning application reference HGY/2020/1779	Sarah Madondo
Tottenham Green	Approval of details reserved by a condition	HGY/2021/3220	Approve	12/03/2024	Stainby Road Car Park adj, 6, Stainby Road, London, N15 4EA	Approval of details pursuant to condition 14 C (Verification Report-Remediation Strategy) attached to planning permission HGY/2021/0087.	Kwaku Bossman-Gyamera

Tottenham Green	Removal/variation of conditions	HGY/2021/1090	Approve with Conditions	27/03/2024	Land to the rear of, 97, Philip Lane, London, N15 4JR	Variation of conditions 2, 4 and 10 attached to planning permission HGY/2016/1417	Mercy Oruwari
Tottenham Green	Approval of details reserved by a condition	HGY/2022/1011	Not Determined	15/05/2024	Bernard Works, Bernard Road, London, N15 4NX	Approval of details pursuant to condition 21 (details of the site wide energy network) attached to planning permission HGY/2017/3584.	Samuel Uff
Tottenham Green	Approval of details reserved by a condition	HGY/2022/1013	Not Determined	30/04/2024	Redlands, Summerhill Road, London, N15 4HE	Approval of details reserved by a condition 18 (Ventilation, heating and solar PV systems) attached to planning reference HGY/2020/1779	Sarah Madondo
Tottenham Green	Approval of details reserved by a condition	HGY/2022/0555	Not Determined	30/04/2024	Redlands, Summerhill Road, London, N15 4HE	Approval of details pursuant to condition 15 (Provision of refuse, waste storage and recycling facilities) attached to planning consent HGY/2020/1779. AMENDED DESCRIPTION	Mercy Oruwari
Tottenham Hale	Approval of details reserved by a condition	HGY/2021/0129	Approve	10/04/2024	Strategic Development Partnership (SDP) Sites, Welbourne, North Island, Ferry Island, Ashley Road East and Ashley Road West, Station Road, London, N17	Application for the approval of details pursuant to conditions C3 (Drainage Attenuation Details - LBH Local Lead Flood Authority) and C4 (Drainage Design Implementation, Maintenance and Management - LBH Local Lead Flood Authority) in relation to Plot C (Welbourne site) of the Tottenham Hale Centre, N17 development planning permission (LPA ref: HGY/2018/2223) dated 27 March 2019.	Philip Elliott
Tottenham Hale	Approval of details reserved by a condition	HGY/2022/2200	Approve	04/04/2024	Strategic Development Partnership (SDP) Sites, Welbourne, North Island, Ferry Island, Ashley Road East and Ashley Road West, Station Road, London, N17	Application for the approval of details pursuant to condition C34 (Over heating) and condition C35 (Heat Network) in relation to Plot C (Welbourne site) of the Tottenham Hale Centre planning permission (LPA ref: HGY/2018/2223) dated 27 March 2019.	Philip Elliott
Tottenham Hale	Approval of details reserved by a condition	HGY/2021/1917	Approve	16/04/2024	Strategic Development Partnership (SDP) Sites, Welbourne, North Island, Ferry Island, Ashley Road East and Ashley Road West, Station Road, London, N17	Application for the partial approval of details pursuant to Condition 20 (Hard and Soft Landscaping) in relation to Plot C (Welbourne site) of the Tottenham Hale Centre planning permission (LPA ref: HGY/2018/2223) dated 27 March 2019	Philip Elliott
Tottenham Hale	Full planning permission	HGY/2023/3058	Approve with Conditions	15/05/2024	Down Lane Recreation Ground, Park View Road, Tottenham, London, N17	Phases 2a and 3 of the Down Lane Park Improvement Programme: demolition of former Park Pavilion and Park Depot Buildings (and associated structures), and basketball court to allow for construction of a new Community Hub Building and Community Garden, new basketball and netball courts, new children's play area, access routes, entrances and associated soft and hard landscaping.	Zara Seelig
Tottenham Hale	Householder planning permission	HGY/2023/3269	Approve with Conditions	15/04/2024	6 Park View Road, Tottenham, London, N17 9EY	Erection of side and rear ground floor extension	Sabelle Adjagboni

Tottenham Hale	Lawful development: Proposed use	HGY/2024/0076	Refuse	07/03/2024	6 Buller Road, Tottenham, London, N17 9BH	Change of use from Use Class 3(a) to 3(b) for three people living together as a single household and receiving care.	Nathan Keyte
Tottenham Hale	Full planning permission	HGY/2024/0448	Refuse	17/04/2024	4 Mafeking Road, Tottenham, London, N17 9BG	Change of use from Class C3 to a Class C4 HMO for a 5 bedroom, 6 tenant dwelling	Emily Whittredge
Tottenham Hale	Householder planning permission	HGY/2024/0487	Approve with Conditions	22/04/2024	30 Rosebery Avenue, Tottenham, London, N17 9RY	Replacement to the existing rear conservatory with new single storey rear extension and replacement to all existing windows on the property with new windows matching fenestration and opening size of existing windows.	Ben Coffie
Tottenham Hale	Lawful development: Proposed use	HGY/2024/0490	Permitted Development	14/03/2024	19 Seymour Avenue, Tottenham, London, N17 9RE	Certificate of Lawful Development (Proposed) for the erection of a rear dormer and the insertion of two front rooflights	Iliyan Topalov
Tottenham Hale	Lawful development: Proposed use	HGY/2024/0973	Permitted Development	26/04/2024	26 Havelock Road, Tottenham, London, N17 9DR	Certificate of Lawful Development for the proposed insertion of one rear facing rooflight.	Iliyan Topalov
Tottenham Hale	Approval of details reserved by a condition	HGY/2023/2212	Approve	13/03/2024	Strategic Development Partnership (SDP) Sites, Welbourne, North Island, Ferry Island, Ashley Road East and Ashley Road West, Station Road, London, N17	Approval of details pursuant to condition B24 (Contaminated Land) in relation to Plot B (Ferry Island site) of the Tottenham Hale Centre planning permission (LPA ref: HGY/2018/2223) dated 27 March 2019	Philip Elliott
Tottenham Hale	Approval of details reserved by a condition	HGY/2023/2833	Approve	18/04/2024	Strategic Development Partnership (SDP) Sites, Welbourne, North Island, Ferry Island, Ashley Road East and Ashley Road West, Station Road, London, N17	Approval of details pursuant to Condition C25 (Contaminated Land ? Part 2 (LBH Environmental Health)) in relation to Plot C (Welbourne site) of the Tottenham Hale Centre planning permission (ref: HGY/2018/2223) dated 27 March 2019.	Philip Elliott
Tottenham Hale	Approval of details reserved by a condition	HGY/2024/0041	Approve	18/04/2024	Plot C (Welbourne), Tottenham Hale Centre, London	Application for approval of details pursuant to Stage II of Condition C23 (Written Scheme of Investigation (WSI) ? Historic England (GLAAS)) relating to Plot C (Welbourne site) of the Tottenham Hale Centre development Planning Permission (LPA ref. HGY/2018/2223) dated 27th March 2019.	Philip Elliott
Tottenham Hale	Approval of details reserved by a condition	HGY/2024/0311	Approve	11/04/2024	Plot C (Welbourne), Tottenham Hale Centre, London	Application for the approval of details pursuant to Condition C17 (Open Space Management & Maintenance Plan) in relation to Plot C (Welbourne site) of the Tottenham Hale Centre planning permission (LPA ref: HGY/2018/2223) dated 27 March 2019.	Philip Elliott
Tottenham Hale	Approval of details reserved by a condition	HGY/2024/0339	Approve	26/04/2024	Plot C (Welbourne), Tottenham Hale Centre	Approval of details pursuant to Condition 21 (Public Lighting Strategy (Relating to the whole site)) in relation to Plot C (Welbourne site) only of the Tottenham Hale Centre planning permission (ref: HGY/2018/2223) dated 27 March 2019.	Philip Elliott

Tottenham Hale	Approval of details reserved by a condition	HGY/2024/0390	Approve	23/04/2024	1 Mafeking Road, Tottenham, London, N17 9BG	Approval of details reserved by a condition 3 (Detail of external materials) attached to planning permission HGY/2022/4433.	Kwaku Bossman-Gyamera
Tottenham Hale	Approval of details reserved by a condition	HGY/2024/0619	Approve	17/05/2024	Plot B (Ferry Island), Tottenham Hale Centre	Approval of details pursuant to Part A of Condition B15 (Secure by Design Accreditation (Metropolitan Police)) in relation to Plot B (FERRY ISLAND site) of the Tottenham Hale Centre development planning permission (LPA ref: HGY/2018/2223) dated 27 March 2019	Philip Elliott
West Green	Approval of details reserved by a condition	HGY/2022/1384	Not Determined	22/04/2024	423-435, Lordship Lane, London, N22 5DH	Approval of details pursuant to condition 19 (sustainable urban drainage strategy) attached to Appeal decision APP/Y5420/W/19/3223654 (original planning reference HGY/2017/3679).	Josh Parker
West Green	Approval of details reserved by a condition	HGY/2021/3215	Not Determined	22/04/2024	423-435, Lordship Lane, London, N22 5DH	Approval of details pursuant to condition 16 (Soft & Hard Landscape) attached to Appeal decision APP/Y5420/W/19/3223654 (original planning reference HGY/2017/3679).	Josh Parker
West Green	Approval of details reserved by a condition	HGY/2022/1432	Not Determined	22/04/2024	423-435, Lordship Lane, London, N22 5DH	Approval of details pursuant to condition 22 (External Lighting Details) attached to Appeal decision APP/Y5420/W/19/3223654 (original planning reference HGY/2017/3679).	Josh Parker
West Green	Householder planning permission	HGY/2023/2028	Approve with Conditions	29/02/2024	39 Waldeck Road, Tottenham, London, N15 3EL	The erection of an L-shaped dormer extension incorporating a roof terrace to the rear.	Neil McClellan
West Green	Full planning permission	HGY/2023/3129	Refuse	25/03/2024	4 Sirdar Road, Wood Green, London, N22 6RG	Conversion from single-family dwelling to 2 x self-contained flats (1 x 2 bedroom, 1 x 3 bedroom)	Daniel Boama
West Green	Full planning permission	HGY/2023/3357	Refuse	29/02/2024	480 West Green Road, Tottenham, London, N15 3DA	Removal of the existing warehouse roof and installation of a new green roof with rooflights and solar PV panels.	Mark Chan
West Green	Householder planning permission	HGY/2023/3402	Approve with Conditions	05/03/2024	27 Sirdar Road, Wood Green, London, N22 6QP	Erection of single storey extension to replace existing	Sabelle Adjagboni
West Green	Householder planning permission	HGY/2024/0017	Approve with Conditions	28/02/2024	14 Caversham Road, Tottenham, London, N15 3QP	Replacement of all existing single glazed timber casement windows with new double glazed PVC casement windows.	Sabelle Adjagboni
West Green	Lawful development: Existing use	HGY/2024/0101	Permitted Development	11/03/2024	13 Sandringham Road, Tottenham, London, N22 6RB	Certificate of Lawfulness: Existing use for single storey rear extension	Oskar Gregersen
West Green	Householder planning permission	HGY/2024/0268	Approve with Conditions	28/03/2024	17 Clonmell Road, Tottenham, London, N17 6JY	Proposed 5.6 metre ground floor wrap-around extension at 2.4 metre height of eaves and 3.4 metre total height of extension with 3x rooflights.	Oskar Gregersen
West Green	Lawful development: Proposed use	HGY/2024/0274	Permitted Development	28/03/2024	17 Clonmell Road, Tottenham, London, N17 6JY	Certificate of Lawfulness: Proposed use for the formation of a rear dormer roof extension in rear roof slope. Installation of No.2 rooflights in front slope.	Oskar Gregersen
West Green	Householder planning permission	HGY/2024/0335	Approve with Conditions	04/04/2024	124 Langham Road, Tottenham, London, N15 3LX	Outbuilding at the rear of the garden	Emily Whittredge

West Green	Lawful development: Proposed use	HGY/2024/0376	Permitted Development	08/03/2024	6 Downhills Avenue, Tottenham, London, N17 6LG	Alterations to rear dormer extension	Gareth Prosser
West Green	Householder planning permission	HGY/2024/0403	Approve with Conditions	15/04/2024	97 Higham Road, Tottenham, London, N17 6NL	Creation of ground floor rear extension with stepped terrace to garden; loft addition to rear roof; reinstatement of previously removed first floor bay window to front; new window to rear first floor bathroom; x3 roof lights to roof front; new brick wall to front garden	Emily Whittredge
West Green	Full planning permission	HGY/2024/0404	Approve with Conditions	15/04/2024	Flat A, 11 Crawley Road, Tottenham, London, N22 6AN	Erection of a single storey rear extension	Sabelle Adjagboni
West Green	Householder planning permission	HGY/2024/0538	Approve with Conditions	25/04/2024	37 Sirdar Road, Wood Green, London, N22 6QS	Proposed garage conversion with new pitched roof over and improvements to front elevation, including re-instatement of front boundary walls (AMENDED DESCRIPTION).	Zara Seelig
West Green	Full planning permission	HGY/2024/0587	Refuse	25/04/2024	Land at rear garden of 17 Sirdar Road, Wood Green, London, N22 6QP	Sub-division of site, demolition of the existing garage and construction of a new dwelling containing 4 × 1-bed flats, comprising of a basement level and 3 above-ground levels, with associated cycle and bin storage.	Daniel Boama
West Green	Lawful development: Proposed use	HGY/2024/0634	Permitted Development	14/03/2024	140 Downhills Park Road, Tottenham, London, N17 6BP	Certificate of Lawful Development (Proposed) for the erection of a rear dormer	Iliyan Topalov
West Green	Householder planning permission	HGY/2024/0653	Approve with Conditions	09/05/2024	20 Langham Road, Tottenham, London, N15 3RA	Replacement of existing rear extension with a single storey side and rear extensions and internal alteration.	Oskar Gregersen
West Green	Lawful development: Proposed use	HGY/2024/0686	Permitted Development	07/05/2024	27 Sirdar Road, Wood Green, London, N22 6QP	Certificate of Lawfulness proposed use: Loft conversion including rear dormers and roof lights	Sabelle Adjagboni
West Green	Lawful development: Proposed use	HGY/2024/0698	Approve	19/03/2024	14 Pendennis Road, Tottenham, London, N17 6LJ	Certificate of lawfulness for the erection of a rear dormer and the installation of 4no. front rooflights.	Eunice Huang
West Green	Lawful development: Proposed use	HGY/2024/0720	Permitted Development	10/05/2024	20 Langham Road, Tottenham, London, N15 3RA	Creation of a rear dormer, installation of two roof lights to the front slope, two roof lights to the rear side slope and internal alteration.	Oskar Gregersen
West Green	Full planning permission	HGY/2024/0789	Approve with Conditions	15/05/2024	268 West Green Road, Tottenham, London, N15 3QR	Insertion of 3no. high positioned windows at ground floor level for function room.	Daniel Boama
West Green	Householder planning permission	HGY/2024/0953	Approve with Conditions	17/05/2024	Ground Floor Flat A, 38 Belmont Road, Tottenham, London, N15 3LT	Erection of single storey ground floor rear extension.	Gareth Prosser
West Green	Lawful development: Proposed use	HGY/2024/1015	Permitted Development	02/05/2024	81 Langham Road, Tottenham, London, N15 3LR	Certificate of Lawful Development (Proposed) for the erection of single storey extension which extends beyond the rear wall of the original house by 3m, for which the maximum height would be 3.45m and for which the height of the eaves would be 2.75m	Iliyan Topalov

West Green	Approval of details reserved by a condition	HGY/2023/0726	Not Determined	22/04/2024	423-435, Lordship Lane, London, N22 5DH	Discharge of Condition 7: Notwithstanding the plans hereby approved, no development shall take place until revised highway plans, including details of the stopping-up of the footway, have been submitted to and approved in writing by the Local Planning Authority. The development shall be constructed in accordance with the approved highway plans prior to its first occupation.	Josh Parker
West Green	Approval of details reserved by a condition	HGY/2023/0734	Not Determined	22/04/2024	423-435, Lordship Lane, London, N22 5DH	Submission of details pursuant to condition 4 (Method of Construction Statement) of planning permission HGY/2017/3679 (granted in appeal decision APP/Y5420/W/19/3223654 on the 25 February 2020).	Josh Parker
West Green	Approval of details reserved by a condition	HGY/2023/2389	Refuse	30/04/2024	145-147 Downhills Way, Tottenham, London, N17 6AH	Approval of details reserved by a condition 8 (Construction Logistics Plan) attached to planning permission HGY/2021/3223.	Sarah Madondo
West Green	Approval of details reserved by a condition	HGY/2023/2391	Refuse	07/05/2024	145-147 Downhills Way, Tottenham, London, N17 6AH	Approval of details reserved by a condition 20 (Method and Design Statement for piling works) attached to planning permission HGY/2021/3223	Sarah Madondo
West Green	Approval of details reserved by a condition	HGY/2023/3408	Refuse	30/04/2024	Land between 145-147 Downhills Way, London N17 6AH	Approval of details reserved by a condition 14 (Sustainable drainage) attached to planning reference HGY/2021/3223.	Sarah Madondo
West Green	Approval of details reserved by a condition	HGY/2024/0593	Approve	19/04/2024	473 Lordship Lane, Wood Green, London, N22 5DJ	Approval of details reserved by a condition 4 (Details of secure cycle parking facilities) attached to planning permission HGY/2022/2031.	Kwaku Bossman-Gyamera

West Green	Non-Material Amendment	HGY/2024/0946	Approve	29/04/2024	255, Lordship Lane, London, N17 6AA	Non-material amendment to planning permission HGY/2017/1097 to make the following changes: - Addition of external door to side elevation to constitute separate access to office units and new canopy to materially match the proposed canopy for the main entrance; - Internal alteration to create 2no. office units with mezzanine levels in replacement of the approved office units; - New external staircase to connect Office Unit 1 at mezzanine level to the street to allow direct secondary escape route; Internal alterations to create separate access to the office units and B1/B8/D1/D2 space through a new staircase connecting the mezzanine/parking level to the lower ground floor circulation areas; - Internal alterations to allow accessible entrance to office units and B1/B8/D1/D2 space through recourse to management strategy of electronic access control to the lift core and common circulation area.	Roland Sheldon
White Hart Lane	Householder planning permission	HGY/2023/2314	Approve with Conditions	26/02/2024	9 Spigurnell Road, Tottenham, London, N17 7PP	Loft conversion with the insertion of 2no. roof windows at the rear and insertion of a uPVC window to rear elevation.	Daniel Boama
White Hart Lane	Householder planning permission	HGY/2023/3171	Approve with Conditions	08/04/2024	4 Balliol Road, Tottenham, London, N17 7NY	Replacement of front windows, including side window, upstairs and downstairs. Replacement of front door. All replaced with same material. New windows are double glazed. Current windows and door are not fit for purpose.	Zara Seelig
White Hart Lane	Householder planning permission	HGY/2023/3324	Refuse	01/03/2024	20 Croxford Gardens, Wood Green, London, N22 5QU	Retrospective planning application for the erection of a ground floor side extension, side/front wall and an external storeroom built beyond the principle elevation.	Sarah Madondo
White Hart Lane	Householder planning permission	HGY/2023/3397	Approve with Conditions	15/03/2024	Flat A, 470 Lordship Lane, Tottenham, London, N17 7QY	Application for retention (with proposed amendments to positioning and painting of fencing) of timber fencing on second floor roof in association with use of second floor roof as roof terrace for flat (retrospective).	Kwaku Bossman-Gyamera
White Hart Lane	Householder planning permission	HGY/2024/0002	Approve with Conditions	13/03/2024	39 Risley Avenue, Tottenham, London, N17 7HJ	Erection of single storey rear extension. Installation of 2 x rooflights to rear roof slope. Erection of small bike store in front garden	Oskar Gregersen
White Hart Lane	Full planning permission	HGY/2024/0169	Approve with Conditions	18/03/2024	21 Perth Road, Wood Green, London, N22 5PY	Change of use from C3 (dwellinghouse) to C4 (HMO) for up to 6 persons.	Sarah Madondo
White Hart Lane	Lawful development: Proposed use	HGY/2024/0296	Permitted Development	05/04/2024	189 The Roundway, Tottenham, London, N17 7BP	Certificate of lawfulness proposed use: Hip to gable and rear dormer extension	Sabelle Adjagboni

White Hart Lane	Householder planning permission	HGY/2024/0337	Approve with Conditions	03/05/2024	5 Spottons Grove, Tottenham, London, N17 7JB	Erection of a single storey rear extension	Sabelle Adjagboni
White Hart Lane	Full planning permission	HGY/2024/0519	Approve with Conditions	23/04/2024	19 Granville Road, Wood Green, London, N22 5LP	Proposed internal alterations and installation of rear external staircase	Zara Seelig
White Hart Lane	Lawful development: Proposed use	HGY/2024/0547	Permitted Development	13/03/2024	81 Eldon Road, Wood Green, London, N22 5ED	Certificate of Lawful Development (Proposed) for the erection of rear L-shaped dormer with linked roof extension above rear outrigger, insertion of two front rooflights.	Iliyan Topalov
White Hart Lane	Lawful development: Existing use	HGY/2024/0582	Refuse	29/04/2024	51 Gospatrick Road, Tottenham, London, N17 7EH	Use of property as HMO (C4) under permitted development rights	Josh Parker
White Hart Lane	Householder planning permission	HGY/2024/0683	Approve with Conditions	09/05/2024	20 Croxford Gardens, Wood Green, London, N22 5QU	Retention of the side extension and removal of the external storage to the front and reducing the front garden walls to 1m in height.	Sarah Madondo
White Hart Lane	Householder planning permission	HGY/2024/0822	Approve with Conditions	15/05/2024	85 Perth Road, Wood Green, London, N22 5QG	Erection of a single storey rear and side extension and conversion of garage into habitable room.	Kwaku Bossman-Gyamera
White Hart Lane	Lawful development: Proposed use	HGY/2024/1063	Permitted Development	26/04/2024	100 Devonshire Hill Lane, Tottenham, London, N17 7NH	Certificate of Lawful Development (Proposed) for the erection of a rear dormer extension, insertion of 3x front facing rooflights	Iliyan Topalov
White Hart Lane	Prior approval Part 1 Class A.1(ea): Larger home extension	HGY/2024/0657	Not Required	22/04/2024	36 Rivulet Road, Tottenham, London, N17 7JS	Erection of single storey extension which extends beyond the rear wall of the original house by 5m, for which the maximum height would be 3.26m and for which the height of the eaves would be 2.96m	Oskar Gregersen
White Hart Lane	Approval of details reserved by a condition	HGY/2024/0147	Approve	14/03/2024	Unit 2, 550 White Hart Lane, Tottenham, London, N17 7BF	Approval of details reserved by a condition 12 (b) (Post Construction Certificate - BREEAM) attached to planning permission HGY/2022/0708.	Kwaku Bossman-Gyamera
Woodside	Lawful development: Proposed use	HGY/2024/00954	Permitted Development	10/04/2024	40, Dunbar Road, London, N22 5BE	Certificate of lawfulness: Proposed use for formation of rear dormer and installation of rooflight on front slope	Oskar Gregersen
Woodside	Full planning permission	HGY/2023/1043	Approve with Conditions	19/04/2024	Civic Centre, High Road, Wood Green, London, N22 8ZW	Redevelopment of the existing rear car park for the erection of a three storey building (plus roof enclosure) comprising of Class E floorspace; 2 x two storey links; creation of central courtyard; parking and landscaping; and refurbishment and external alterations of the existing Civic Centre and offices, including alterations to entrance facade and fenestration; and associated works for the continuation of mixed civic (Class F1) and office (Class E) uses	Samuel Uff

Woodside	Listed building consent (Alt/Ext)	HGY/2023/1044	Approve with Conditions	19/04/2024	Civic Centre, High Road, Wood Green, London, N22 8ZW	Listed Building Consent Application for the refurbishment and extension of the Civic Centre including the replacement of elevational pre-cast concrete panels; replacement of windows and curtain walling; removal of entrance steps and replacement with a ramp; removal of part of the roof structure to create an open plant room; installation of photovoltaic panels at roof level; installation of thermal insulation; removal of internal partitions in the north wing; extension to the Civic Centre to provide three-storey building and 2x two-storey links; and associated works	Samuel Uff
Woodside	Full planning permission	HGY/2023/1337	Approve with Conditions	22/04/2024	12 Canning Crescent, Wood Green, London, N22 5SR	Demolition of existing dwelling and redevelopment of the site to provide 6 self contained flats	Zara Seelig
Woodside	Full planning permission	HGY/2023/1749	Approve with Conditions	23/04/2024	Rear of 734-744 Lordship Lane, London N22 5JP	Change of use from mini cab parking and office to hand car wash with erection of canopy.	Josh Parker
Woodside	Full planning permission	HGY/2023/2156	Refuse	07/03/2024	268 High Road, Wood Green, London, N22 8JX	Retention of existing shop front with seating and proposed rear single storey extension	Zara Seelig
Woodside	Full planning permission	HGY/2023/2927	Refuse	16/04/2024	13 Bounds Green Road, Wood Green, London, N22 8HE	Application of hardstanding to front garden with landscaping alterations (retrospective).	Roland Sheldon
Woodside	Lawful development: Existing use	HGY/2024/0037	Approve	14/03/2024	45 Lascotts Road, Wood Green, London, N22 8JG	Certificate of Lawfulness for the existing use of 45 Lascotts Road as 3 self-contained flats (3-bedroom flat on the ground floor, 3-bedroom flat on the first floor and 2-bedroom flat on the second floor).	Mark Chan
Woodside	Full planning permission	HGY/2024/0250	Approve with Conditions	26/03/2024	First Floor Flat, 17 Ranelagh Road, Wood Green, London, N22 7TJ	Loft conversion to extend first floor flat including the installation of two rooflights to the front roof slope.	Josh Parker
Woodside	Full planning permission	HGY/2024/0293	Approve with Conditions	17/04/2024	28 Palmerston Road, Wood Green, London, N22 8RG	Formation of L-shape dormer to the rear roof to create a self-contained flat	Emily Whittredge
Woodside	Full planning permission	HGY/2024/0331	Approve with Conditions	26/03/2024	Flat 2, 25 Parkhurst Road, Wood Green, London, N22 8JQ	Formation of rear dormer on main roof and roof outrigger	Kwaku Bossman-Gyamera
Woodside	Lawful development: Proposed use	HGY/2024/0346	Permitted Development	05/04/2024	22 Sidney Road, Wood Green, London, N22 8LS	Certificate of lawfulness proposed use for rear dormer and installation of 2x front rooflights.	Sabelle Adjagboni
Woodside	Lawful development: Existing use	HGY/2024/0395	Approve	12/04/2024	21 Dunbar Road, Wood Green, London, N22 5BG	Certificate of Lawfulness to ascertain the existing use of the site as two separate self-contained flats for a continuous period of more than 4 years before the date of this application.	Sabelle Adjagboni
Woodside	Lawful development: Proposed use	HGY/2024/0515	Permitted Development	23/04/2024	722 Lordship Lane, Wood Green, London, N22 5JN	Certificate of Lawfulness for the formation of a hip-to-gable roof extension, a rear dormer extension and the installation of two rooflights on the front slope.	Oskar Gregersen
Woodside	Full planning permission	HGY/2024/0545	Approve with Conditions	24/04/2024	Wood Green Crown Court, Lordship Lane, Wood Green, London, N22 5LF	Installation, reconfiguration and replacement of external lighting.	Eunice Huang

Woodside	Full planning permission	HGY/2024/0630	Refuse	02/05/2024	349C High Road, Wood Green, London, N22 8JA	Change of use first floor office to HMO use (6 no. Ensuite Rooms) with 6 no. roof windows including internal and external alterations.	Kwaku Bossman-Gyamera
Woodside	Lawful development: Proposed use	HGY/2024/0637	Permitted Development	18/03/2024	56 Stirling Road, Wood Green, London, N22 5BP	Certificate of Lawful Development (Proposed) for the erection of a rear dormer and the insertion of three front rooflights	Iliyan Topalov
Woodside	Change of use	HGY/2024/0655	Refuse	03/05/2024	728 Lordship Lane, Wood Green, London, N22 5JN	Change of use from Ground Floor Flat (Class C3) to a Professional Naturopathic Centre (Class E).	Mark Chan
Woodside	Lawful development: Proposed use	HGY/2024/0696	Approve	08/05/2024	Unit 6, 349C High Road, Wood Green, London, N22 8JA	Lawful certificate for proposed use of Unit 6 located on the first floor of the premises as a call centre, sales office, and administrative centre for a booking office for private hire vehicles.	Kwaku Bossman-Gyamera
Woodside	Lawful development: Existing use	HGY/2024/0702	Refuse	09/05/2024	53 Cranbrook Park, Wood Green, London, N22 5NA	Certificate of Lawfulness Existing Use: Continued use of the property as a 7 Room HMO	Oskar Gregersen
Woodside	Prior approval Part 1 Class A.1(ea): Larger home extension	HGY/2024/0223	Not Required	11/03/2024	14 Selborne Road, Wood Green, London, N22 7TL	Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 3.4m and for which the height of the eaves would be 3m	Oskar Gregersen
Woodside	Prior approval Part 1 Class A.1(ea): Larger home extension	HGY/2024/0531	Not Required	26/03/2024	722 Lordship Lane, Wood Green, London, N22 5JN	Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 2.9m and for which the height of the eaves would be 2.9m	Iliyan Topalov
Woodside	Prior approval Part 1 Class A.1(ea): Larger home extension	HGY/2024/0535	Refuse	26/03/2024	722 Lordship Lane, Wood Green, London, N22 5JN	Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 2.9m and for which the height of the eaves would be 2.9m	Iliyan Topalov
Woodside	Prior approval Part 1 Class A.1(ea): Larger home extension	HGY/2024/0711	Not Required	25/04/2024	75 Wolves Lane, Wood Green, London, N22 5JD	Erection of single storey extension which extends beyond the rear wall of the original house by 6m, for which the maximum height would be 3m and for which the height of the eaves would be 2.7m	Oskar Gregersen
Woodside	Prior approval Part 1 Class A.1(ea): Larger home extension	HGY/2024/0772	Not Required	07/05/2024	213 Lyndhurst Road, Wood Green, London, N22 5AY	Erection of single storey extension which extends beyond the rear wall of the original house by 4m, for which the maximum height would be 3m and for which the height of the eaves would be 3m	Sabelle Adjagboni
Woodside	Prior approval Part 1 Class A.1(ea): Larger home extension	HGY/2024/0957	Approve	17/05/2024	8 Berwick Road, Wood Green, London, N22 5QB	Erection of single storey extension which extends beyond the rear wall of the original house by 3.9m, for which the maximum height would be 3m and for which the height of the eaves would be 3m	Oskar Gregersen

Woodside	Approval of details reserved by a condition	HGY/2023/1952	Approve	22/04/2024	Wood Green Social Club, 3 Stuart Crescent, Wood Green, London, N22 5NJ	Approval of details pursuant to conditions 4 (Construction Management Plan) and 5 (Construction Environmental Management Plan) attached to planning permission HGY/2021/2031.	Eunice Huang
Woodside	Approval of details reserved by a condition	HGY/2024/0562	Approve	29/04/2024	746-748 Lordship Lane, Wood Green, London, N22 5JP	Approval of details reserved by a condition 3 (Details of external materials), condition 4 (Detail of secure cycle parking facilities) and condition 6 (Method of Construction Statement) attached to planning permission HGY/2023/0057.	Kwaku Bossman-Gyamera
Woodside	Consent under Tree Preservation Orders	HGY/2024/0721	Approve with Conditions	16/05/2024	1 Palmerston Road, Wood Green, London, N22 8RG	Works to tree protected by a TPO. T4 Lime Reduce crowns by approximately 2-3 metres back to previous cutting points Reason - tree maintenance (Please note all other works will be considered separately under application reference HGY/2024/0723, as these trees are not protected by TPOs but are located within a Conservation Area)	Daniel Monk

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